



Agenda
City Plan Commission Meeting
Municipal Building, 625 52nd Street – Room 202, Kenosha, WI
Thursday, April 18, 2024
5:00 pm

Mayor David Bogdala, Chairperson
Common Council President or designee, Vice-Chairperson
Aldersperson representative from Public Works Committee
Aldersperson representative from Board of Park Commissioners
Commissioner Mark Bourque

Commissioner Michael Foster
Commissioner Stephen Retherford
Commissioner Vincent Ruffolo
Commissioner Lydia Spottswood
Commissioner Edwin Stuckey

Call to Order
Roll Call
Citizens Comments

Approval of the Minutes from the Meeting held April 4, 2024

1. Request for Relief to the off-street parking requirements of Section 6.01 of the Zoning Ordinance for a retail store located at 7531 30th Avenue. (St. Vincent DePaul) (District 13) PUBLIC HEARING
2. Conditional Use Permit for a 5,932 square foot addition located at 7531 30th Avenue. (St. Vincent DePaul – Final Hearing) (District 13) PUBLIC HEARING
3. Conditional Use Permit for a facade renovation at the Southport Plaza Unified Business Center located at 6932 Green Bay Road. (Skechers – Final Hearing) (District 16) PUBLIC HEARING
4. Conditional Use Permit for a 158-unit multi-family apartment building located at 56th Street and 7th Avenue. (Kenosha Harbor District Block I – Initial Hearing) (District 2) PUBLIC HEARING
5. Resolution by the Mayor – To Amend Condition #8 of Resolution #140-23 to grant a six-month extension for the recording of a two-lot Certified survey Map for property at 6209 28th Avenue. (JRC Specialty Leasing, LLC) (District 12) PUBLIC HEARING
6. Request to initiate the rezoning of various properties located in the City of Kenosha in accordance with the Federal Emergency Management Agency Flood Insurance Rate Maps with an effective date of April 11, 2024 (FEMA) (District 1) (District 2) (District 3) PUBLIC HEARING

Commissioners' Comments

*IF YOU ARE DISABLED AND NEED ASSISTANCE, PLEASE CALL 653-4030 BY NOON
OF THIS MEETING DATE TO MAKE ARRANGEMENTS FOR REASONABLE ON-SITE ACCOMMODATIONS.*

CITY PLAN COMMISSION
Minutes
April 4, 2024

MEMBERS PRESENT:

Mayor John Antaramian, Alderperson Prozanski, Alderperson David Bogdala, Alderperson Jan Michalski, Michael Foster, Stephen Retherford, Lydia Spottswood, Edwin Stuckey

MEMBERS EXCUSED: Mark Bourque, Vincent Ruffolo

STAFF PRESENT: Tim Casey, Director, Rich Schroeder, Deputy Director

The meeting was called to order at 5:00pm by Mayor Antaramian. Roll call was taken and quorum was present.

Citizens Comments - None

A motion was made by Alderperson Michalski and seconded by Mr. Foster to approve the minutes of March 21, 2024. The motion passed. (Ayes 8, Noes 0)

1. Resolution by the City Plan Commission – Resolution Approving Amendment to the Project Plan for Tax Incremental District #27, City of Kenosha, Wisconsin, and submitting the Amendment to the Common Council for approval . (Downtown Vision) (District 2) PUBLIC HEARING

Public hearing opened.

No public comments.

Public hearing closed.

Tim Casey, Director of City Development, went over the amendment and rendering of the Downtown Vision. Block I will be the first project to get developed. Block I was never in the original TIF District and this amendment would add Block I.

Ms. Spottswood asked if there was any interest in using Reuther High School for the new City Hall location?

Mayor Antaramian stated they would need to talk to the school district. They will not be starting the new City Hall project until 2026 and cost factors will have to be looked at.

A motion was made by Alderperson Prozanski, seconded by Alderperson Bogdala to approve per staff recommendation. On a roll call vote the motion passed. (Ayes 8, Noes 0)

2. Resolution by the Committee on Public Works - To Vacate A Portion of a Street at 28th Avenue and Lincoln Road. (Leiting/Wilson) (District 13) PUBLIC HEARING

Public hearing opened.

Debbie Tenuta, 2812 Lincoln Road, abutting property owner, asked if the vacated part will go straight thru and not on an angle?

Mayor Antaramian confirmed how the property would be split between the two neighbors.

Ms. Tenuta asked if there will be a new survey?

Mr. Schroeder stated that the City does not do any formal survey on vacations. When this is recorded the County Land Information office will attach a portion of it to the legal description of each property.

Mr. Casey stated the road will stay in its current configuration.

Mr. Schroeder replied that this is just the grass area that is being vacated.

Public hearing closed.

Aldersperson Michalski stated that the petition was impressive. He spoke to the alderperson of the district, Aldersperson Wilson and he is in support. The neighbors have already been maintaining the area. He asked if that area is buildable?

Mr. Schroeder replied no, he believes there are utilities underground.

A motion was made by Aldersperson Michalski, seconded by Aldersperson Prozanski to approve per staff recommendation. On a roll call vote the motion passed. (Ayes 8, Noes 0)

**3. Conditional Use Permit extension for a 50-unit apartment complex to be located at 5610 37th Street. (Kenosha Pointe Apartments – Initial Hearing) (District 5)
PUBLIC HEARING**

Public hearing opened.

Dan Wander, 3201 Old Glenview Road, Wilmette, IL, Gendell Partners, stated they are looking for an extension until September 22, 2024. They now have a new partner and they need to get up to speed. They are committed to move forward and will meet with Staff in a week or so to go over everything.

Public hearing closed.

Mr. Schroeder went over the Staff report. The applicant has now come back again asking for another 4 month extension giving them a total of a year extension. Staff has not received any revised plans to date. If the Plan Commission grants the extension the plans and everything would remain the same. If they want to make any changes to the current plans they will need to start all over with a new conditional use permit. If the Plan Commission does not grant the extension the applicant will have until May 22, 2024 to get their plans in and address everything and pull a permit or it will be voided.

Ms. Spottswood asked what is the cost associated with having to start over?

Mr. Schroeder stated they will have architecture fees and the conditional use fee which is around \$1,500.

Mr. Wander stated they are not looking at new plans, they are just looking to perfect the engineering. The new partner is aware and they would like to start this.

Ms. Spottswood asked Staff if they received anything in writing relating to this?

Mr. Schroeder stated there has been no revised plans and have not heard from them since September 22, 2022.

A motion was made by Ms. Spottswood, seconded by Mr. Foster to concur with staff recommendation to deny extension. On a roll call vote the motion failed. (Ayes 3, Noes 5 - Alderperson Prozanski, Alderperson Bogdala, Alderperson Michalski, Mr. Retherford, Mr. Stuckey)

A motion was made by Alderperson Prozanski, seconded by Alderperson Bogdala to grant a four month extension to September 22, 2024. On a roll call vote the motion passed. (Approve 7, Noes 1 - Mayor Antaramian)

4. Conditional Use Permit for a facade modification located at 4216 52nd Street. (O'Reilly Auto Parts – Initial Hearing) (District 10) PUBLIC HEARING

Public hearing opened.

Craig Blume, 29833 Santa Margarita Parkway, Rancho Santa Margarita, CA, Kinetic Design Architect, stated he received additional comments from City Staff regarding the facade to include more masonry, to improve the rear fencing, to have trash enclosures and dedicate 20 feet of right-of-way on 22nd Street. They will address all of those requests and will be available for any questions.

Alderperson Pizzala, 5303 43rd Avenue, Alderperson of the 11th District, has concerns on the remodeling. There has been vandalism in the area and would like to make sure there is adequate lighting in the area to reduce vandalism before the construction starts.

Public hearing closed.

Mr. Schroeder went over the Staff report, some of the conditions are dedicating right-of-way for the future widening of 52nd Street, landscaping, site improvements, painting, requesting brick by the entrance and the fence. Staff is requesting establishing the conditions as noted by Staff.

Alderperson Michalski asked the applicant if O'Reilly was in agreement with all of the conditions noted?

Mr. Blume stated there are no strong objections to the requests. They have not worked out the details and may have to have further discussion with Staff.

Ms. Spottswood asked if this item should be deferred to discuss the differences with Staff?

Mr. Blume stated that there are minor questions to work out with Staff. What is meant by a solid fence?

Mr. Schroeder stated that a solid fence could be a wood fence or solid vinyl but not chain-link.

Mr. Blume stated they have no objections and that they just wanted to confirm some of the details.

Mr. Retherford asked on the elevations the entrance is not facing 52nd Street?

Mr. Blume stated that the plan is mislabeled. The main entrance to the store is facing 52nd Street.

Mr. Schroeder stated that the elevations were mislabeled.

Mayor Antaramian stated on the west elevation he would like to see more articulation. A motion was made by Mayor Antaramian and seconded by Alderperson Prozanski to amend the conditions to add additional building articulation shall be provided on the west building elevation. On a voice vote motion carried.

A motion was made by Alderperson Michalski, seconded by Ms. Spottswood to approve per staff recommendation with amended conditions. On a roll call vote the motion passed. (Ayes 8, Noes 0)

5. Conditional Use Permit for a 2,567 square foot coffee shop with a drive-thru located at 3321 80th Street. (Starbucks – Initial Hearing) (District 14) PUBLIC HEARING

Public hearing opened.

Adam Stein, 10400 W. Innovation Drive, Milwaukee, WI, Logic Design & Architecture, gave an overview of the project and would like to discuss issues from Staff requests as they are on a tight timeline. He was available for any questions.

Public hearing closed.

Mr. Schroeder went over the Staff report and Staff had concerns as they attempted to work with the developer and there are a number of things that have not been addressed. Staff needs stormwater calculations, the building elevations do not comply with the ordinance. Staff is looking at what they are going to see from the street and they should see elevations that are acceptable before it moves forward. If the Plan Commission wants to move the project along tonight without seeing the elevation revisions the proposed conditions note that the applicant has to bring revised elevations with additional articulation and windows. That would have to come back to the Plan Commission in 30 days for final approval.

Alderperson Prozanski asked if they approve the conditions as noted, are the Staff concerns addressed in the conditions proposed?

Mr. Schroeder replied yes. The problem is the applicant wants to submit the plans as is and hoping the Plan Commission waives all the requirements.

Alderperson Prozanski stated he would like to see the Plan Commission approve this per the conditions and the developer comes back in 30 days and they are all met. He went over what was suggested at the last meeting.

Ms. Spottswood had concerns that all applicants are following the same standards.

Mayor Antaramian stated that the City Plan Commission was clear on the things they did not like when the concept was presented and feels the applicant did not do anything to fix those concerns.

Mr. Stein went over what they thought it should look like. They feel in regards to the stormwater the site is less than an acre. City Staff just told them they are combining their site with the North Shore Bank site and now making them provide stormwater management for the entire site. The impact of that will be more costly. They feel their renderings are what people are actually going to view. They feel the City's wish list is going to exceed what they are willing to spend. They are going to hit a certain threshold where the project is not feasible. He would like a better understanding of what the City is actually requiring. Not sure how they can meet some of these requested conditions. In regards to the requested sidewalk, who is walking on it? Why are we having to do improvements on North Shore property? He feels they are providing a high quality product and handed out pictures of material to be used.

Mayor Antaramian asked Staff why the stormwater is not being tied into the basin?

Mr. Schroeder stated that the applicant never submitted any stormwater calculations to determine the pipes are sized properly.

Mayor Antaramian asked why is the basin not being used for the quality issue?

Mr. Schroeder stated that his understanding is before stormwater is released into the system that quality & quantity issues must be addressed on site and this is a Public Works requirement. He went over the site size combining with North Shore Bank. He suggested the applicant go back and meet with North Shore Bank to go over cost such as the sidewalk as well. He will need to meet with Public Works to understand better about the stormwater and the sidewalk.

Mayor Antaramian stated he wants to see more articulation. Staff will look into the sidewalk and stormwater issues. Since the applicant doesn't want to delay, all requirements need to be done.

Aldersperson Prozanski asked if the requirement for the sidewalk will have to be put in along the south side of North Shore Bank, behind the proposed starbuck and to Atlas Gym?

Mr. Schroeder replied not to Atlas Gym. It will be strictly with their property and North Shore Bank. Right now it is all owned by the bank.

Aldersperson Prozanski stated there is a sidewalk already on the south side of the private drive in front of the storage from 35th Avenue east. It then dead ends again at the private drive.

Mr. Schroeder stated that is because there is another parcel.

Aldersperson Prozanski stated there is a sidewalk in front of 80th Street and there is a lot of foot traffic. Rarely is there foot traffic on 33rd Avenue heading west. He feels that the sidewalk is overkill.

Mr. Schroeder stated on the east side of the bank parcel they already have a sidewalk.

Aldersperson Prozanski asked if 33rd Avenue is a City street?

Mr. Schroeder replied no it is a private drive.

Aldersperson Prozanski asked why the Dollar Tree store has no sidewalk separation from the Festival lot.

Mr. Schroeder stated he will need to check with Public Works.

Aldersperson Prozanski feels we are inconsistent with other businesses in the area.

Aldersperson Michalski stated sometimes we upgrade our rules and standards, but we need to enforce the rules.

Mayor Antaramian stated he recommends we approve what Staff has said. The sidewalk and stormwater is debatable, Staff will look at the height limitation of the building. Staff will sit down with Public Works regarding the sidewalk and the stormwater and come back with what needs to be done and why. The building is an issue and needs to be addressed and spruced up.

Ms. Spottswood feels the materials are acceptable.

Mayor Antaramian suggested to the applicant that he meets with Staff in the next month before the next meeting and not to come back without real changes.

A motion was made by Alderperson Prozanski, seconded by Ms. Spottswood to approve per staff recommendation and per the conditions set by staff. On a roll call vote the motion passed. (Ayes 7, Noes 1 - Mr. Stuckey)

6. Resolution by the Mayor – To Approve a two-lot Certified Survey Map for property located at 3315 80th Street. (North Shore Bank) (District 14) PUBLIC HEARING

Public hearing opened.

No Public comments.

Public hearing closed.

Mr. Schroeder went over the Staff report, Staff recommends approval subject to the noted conditions.

A motion was made by Alderperson Prozanski, seconded by Alderperson Bogdala to approve per staff recommendation. On a roll call vote the motion passed. (Ayes 8, Noes 0)

Commissioners Comments -

Alderperson Michalski thanked Mayor Antaramian and Alderperson Prozanski.

Ms. Spottswood stated it was an honor and a privilege to work with the Mayor.

A motion to adjourn was made by Alderperson Michalski and seconded by Ms. Spottswood. The motion passed. (Ayes 8, Noes 0) The meeting adjourned at 6:03 pm.

Certification that the minutes have been approved by the City Plan Commission.

Rich Schroeder, Deputy Director of City Development

Meeting Minutes Prepared by: Laurie Bauman, City Development



Thursday, April 18, 2024 at 5:00 pm
Municipal Building
625 52nd Street – Room 202 – Kenosha, WI 53140

Request for Relief to the off-street parking requirements of Section 6.01 of the Zoning Ordinance for a retail store located at 7531 30th Avenue. (St. Vincent DePaul) (District 13) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Wilson, District 13, has been notified. The City Plan Commission is the final review authority. Property owners within 100 feet of the property boundary have been notified.

LOCATION AND ANALYSIS:

Site: 7531 30th Avenue

1. St. Vincent DePaul has proposed to add on to their existing facility at 7531 30th Avenue. The conditions of approval were established for the Conditional Use Permit at the March 21, 2024 meeting. With the addition as proposed, the site will not provide the minimum number of off-street parking spaces required by Section 6.0 of the Zoning Ordinance. The applicant has requested relief to the minimum number of off-street parking spaces required. The City Plan Commission is the review authority to grant relief to the minimum number of off-street parking spaces required.
2. The proposed number of off-street parking spaces on the site will not be sufficient to cover the minimum amount required by Section 6.01 of the Zoning Ordinance. The calculations are as follows:

Required Parking	
Office Use (650 s.f.) @ 1 sp. / 250 s.f.	3
Retail Use (19,483 s.f.) @ 1 sp. / 250 s.f.	78
Warehousing (14,649 s.f.) @ 1 sp. / 1,000 s.f.	15
Total Required	96
Total Provided	88
Shortage	8

3. The existing site currently has about sixty-four (64) off-street parking spaces. With the reconfiguration and new paving of parts of the site, the number of off-street parking spaces increases up to eighty-eight (88) spaces. Staff believes this should easily accommodate the needs of the facility.

RECOMMENDATION:

A recommendation is made to approve the relief to the minimum number of required off-street parking spaces.

Brian Wilke, AICP, Development Coordinator

Rich Schroeder, Deputy Director



Society of St. Vincent dePaul

7531 - 30th Avenue

Kenosha, WI 53142

Phone: 262-764-1985 Fax: 262-484-4041

Subject: Parking Relief Request for St Vincent de Paul Facility Addition

To whom it may concern:

We are writing to formally request parking relief approval for the planned addition to the St Vincent de Paul facility located at 7531 30th Ave. in Kenosha.

The proposed addition, totaling 6,697 square feet, will bring the facility's new total square footage to 34,782 square feet. According to zoning code requirements, this expansion necessitates a total of 139 parking stalls, based on the ratio of one stall per each 250 square feet of construction area.

Upon detailed examination, the facility will comprise 19,483 square feet of sales area (78 stalls), 650 square feet of office area (3 stalls), and 14,649 square feet of warehouse area (14 stalls). The cumulative parking requirement would be 96 stalls. Regrettably, due to space constraints, we can only provide a maximum of 88 stalls.

Understanding the importance of adhering to zoning regulations, we kindly request your consideration and approval for parking relief in this particular instance. The St Vincent de Paul facility plays a vital role in serving our community, and this expansion is crucial to our ability to continue meeting the needs of those we serve.

We are committed to working closely with the relevant authorities to address any concerns and find feasible solutions that align with the community's best interests. Your support in granting parking relief for this project is invaluable, and we are open to discussions or modifications that may be necessary to meet the requirements for approval.

Please feel free to contact us if you have any comments or questions regarding this request. We appreciate your time and consideration in this matter and look forward to the opportunity to enhance our facility for the betterment of the community.

Thank you for your attention to this important matter.

Sincerely,

Encl: Store use plan

NO.	BY	DATE	REVISION

PROJ. NO.	2021.0066.01
DATE	2/2/2024
DATE	2/2/2024
DATE	2/2/2024
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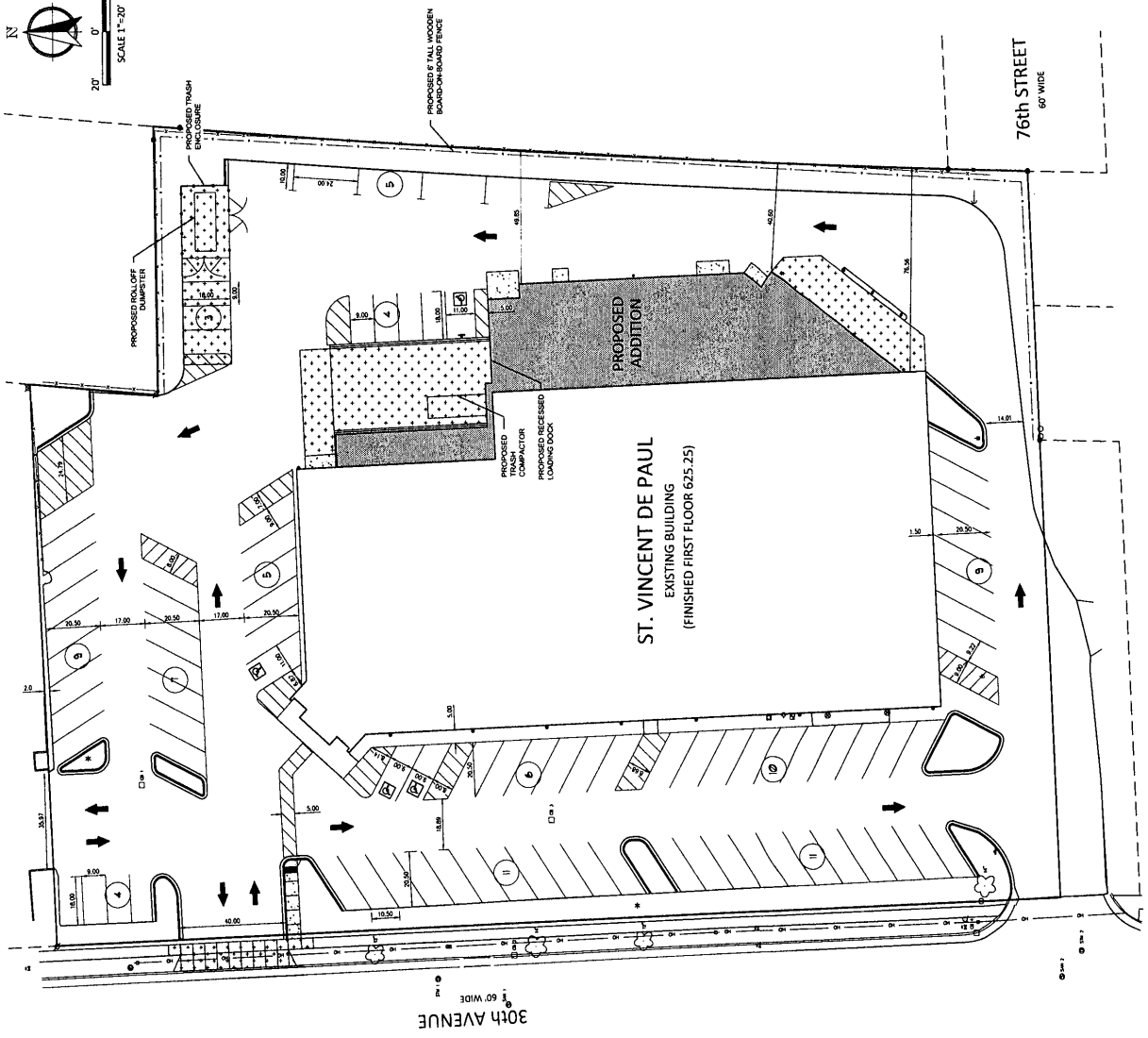
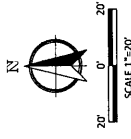
C-3
 SHEET



UTILITY NOTE
 EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL. THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES ARE TO BE DETERMINED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR TO AVOID DAMAGE THERE TO, CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.


SITE DATA

PARCEL NUMBERS:	ZONING:	EXISTING FLOOD ZONE:	DEVELOPMENT TYPE:
04-122-12-130-013 04-122-12-130-005 04-122-12-130-006 04-122-12-130-007 04-122-12-130-008 04-122-12-130-009 04-122-12-130-010	D-2 COMMUNITY BUSINESS	NOT IN A FLOOD ZONE	COMMERCIAL
EXISTING IMPERVIOUS SURFACE CALCULATIONS			
EXISTING BUILDING/ENCLOSURE:	28,100 S.F.		
EXISTING PAVEMENT:	89,349 S.F.		
TOTAL IMPERVIOUS SURFACE AREA:	87,449 S.F. = 2.24 AC (84,380)		
TOTAL GREEN SPACE AREA:	7,201 S.F. = 0.17 AC (8,179)		
TOTAL PARCEL AREA:	104,650 S.F. = 2.40 AC		
PROPOSED IMPERVIOUS SURFACE CALCULATIONS			
BUILDING/ENCLOSURE:	34,028 S.F.		
PROPOSED PAVEMENT:	86,438 S.F.		
TOTAL IMPERVIOUS SURFACE AREA:	84,464 S.F. = 2.17 AC (80,440)		
TOTAL GREEN SPACE AREA:	10,186 S.F. = 0.23 AC (8,086)		
TOTAL PARCEL AREA:	104,650 S.F. = 2.40 AC		



16.a. **Shelter Facility:** 1.0 space per six (6) beds.

BUSINESS


-  17. **Convenience Retail, General Merchandise and Service Stores; Office Buildings; Financial Institutions; Miscellaneous Retail and Service Uses; Home Improvement and Gardening Supply Stores and Uses; and Motor Vehicle Uses:** 1.0 space per two hundred fifty (250) square feet of gross floor area, except for the uses listed in 18. to 33. below.
18. **Automobile Sales and/or Service, Automobile and/or Truck Rental or Leasing, Mobile or Manufactured Home Sales and Service, and Recreational Vehicle Sales and Service:** 1.0 space per three hundred (300) square feet of gross floor area, plus one (1) space per two thousand five hundred (2,500) square feet of gross land area devoted to sales or rental.
19. **Automobile Service or Fuel Station:** 3.0 spaces minimum, plus 3.0 spaces per each service bay.
20. **Automobile Body Shop:** 3.0 spaces minimum, plus one (1) space per five hundred (500) square feet of gross floor area.
21. **Automobile or Truck Wash:** 1.0 space per employee on largest shift, plus any additional spaces required as part of a conditional use review.
22. **Carpenter, Electrical, Plumbing, Heating and Air Conditioning Shops; Furniture and Household Appliance Stores; Printing or Publishing Establishment; and Radio or Television Studio:** 1.0 space per five hundred (500) square feet of gross floor area.
23. **Funeral Home:** 1.0 space per fifty (50) square feet of gross floor area of public spaces, including parlor, chapel, reception, lobby and lounge areas.
24. **Self-Service Storage Facility:** 3.0 spaces minimum, plus one (1) space per one hundred (100) storage units.
25. **Medical Offices, Clinic, Laboratory, and Professional Offices of a Dentist, Doctor, Surgeon or Other Individual Licensed to Practice Medicine:** 1.0 space per two hundred fifty (250) square feet of gross floor area.
26. **Recreational Uses-Indoor, Private:**
- a. **Bowling Alley:** 5.0 spaces per alley, plus additional spaces as may be required herein for affiliated uses such as restaurants and other mixed uses.
 - b. **Game and Athletic Courts:** 3.0 spaces per court.
 - c. **Physical Fitness and Health Club:** 1.0 space per two hundred (200) square feet of gross floor area.
 - d. **Other Indoor Recreational Uses:** 1.0 space per five hundred (500) square feet of gross floor area.
 - e.

Golf Range, Batting Range, Batting Cage, or Golf and/or Batting Simulator: 3.0 spaces per individual station.

27. Recreational Uses-Outdoor, Private:

- a. **Athletic Field:** 10.0 spaces per field, plus 1.0 space per ten (10) seats within bleachers or stands.
 - b. **Golf Driving Range:** 2.0 spaces per driving tee.
 - c. **Golf Courses:** 3.0 spaces per hole, plus spaces equal to thirty (30) percent of the total licensed capacity of any affiliated clubhouse, restaurant or lounge.
 - d. **Other Outdoor Recreational Uses:** 1.0 space per five thousand (5,000) square feet of lot area.
- 28. Restaurants Without Drive-in or Drive-through Facilities:** 10.0 spaces minimum, or spaces equal to thirty (30) percent of the total licensed capacity, whichever is greater.
- 29. Restaurants With Drive-in or Drive-through Facilities:** 10.0 spaces minimum, or spaces equal to forty (40) percent of the total licensed capacity, whichever is greater.
- 30. Shopping Centers:** 4.5 spaces per one thousand (1,000) square feet of leasable floor area, and any additional parking required as part of a conditional use review.
- 31. Taverns and Cocktail Lounges:** 10.0 spaces minimum, or spaces equal to twenty (20) percent of the total licensed capacity, whichever is greater.
- 32. Recycling Collection Centers:** Minimum of five (5) parking spaces.

MANUFACTURING

- 33. Manufacturing and Industrial Establishments or Uses:** 2.0 spaces per three (3) employees on maximum shift, but in no event less than 2.0 spaces per one thousand (1,000) square feet of gross floor area.
-  **34. Wholesale and Warehouse Establishments, and Distribution Plant:** 2.0 spaces per three (3) employees on maximum shift, but in no event less than:
- a. 1.0 space per one thousand (1,000) square feet of gross floor area for the first twenty thousand (20,000) square feet.
 - b. 1.0 space per two thousand (2,000) square feet of gross floor area for the second twenty thousand (20,000) square feet.
 - c. 1.0 space per four thousand (4,000) square feet of gross floor area in excess of the initial forty thousand (40,000) square feet of floor area of the building.

(Ord. No. 22-23, § 4, 6-19-2023; Ord. No. 31-23, §§ 5, 6, 8-7-2023)



April 4, 2024

PUBLIC MEETING NOTICE
Off-Street Parking Exception
7531 30th Avenue (St. Vincent De Paul)

Property Owner:

The property owner, Society of St. Vincent De Paul, is requesting a Special Exception from the requirements of Section 6 of the Zoning Ordinance relating to Off-Street Parking Requirements.

The Zoning Ordinance requires ninety-six (96) off-street parking spaces for the St. Vincent De Paul store with a proposed 6,697 square foot addition. Only eighty-eight (88) off-street parking spaces would remain after construction, a shortage of eight (8) off-street parking spaces.

You are being notified of this public hearing as the owner of property within 100-feet of the proposed Special Exception Request. The enclosed map identifies the boundaries of the Request.

A public hearing will be held as follows:

City Plan Commission Meeting
Thursday, April 18, 2024 at 5:00 pm
Room 202 of the Municipal Building, 625 52nd Street

The public hearing provides an opportunity to voice any concerns or ask any questions about the Special Exception Request.

Additional information regarding this Special Exception Request is on file with the Department of City Development, Room 308. Please contact Brian Wilke at 262.653.4049 or via email at bwilke@kenosha.org with any question or for further information.

BRW:llb
Enclosure



Conditional Use Permit for a 5,932 square foot addition located at 7531 30th Avenue. (St. Vincent DePaul – Final Hearing) (District 13) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Wilson, District 13, has been notified. The City Plan Commission is the final review authority.

LOCATION AND ANALYSIS:

Site: 7531 30th Avenue

1. This item was heard by the City Plan Commission on March 21, 2024, and the Conditions of approval were established at that meeting.
2. St. Vincent DePaul is looking to add 5,932 square feet to their existing building at 7531 30th Avenue. The addition will include space for an expanded food pantry, a donation drop off area and expanded sales area. The majority of the improvements will be in the rear of the building, but the main entrance at the northwest corner of the building facing 30th Avenue will be updated in line with the improvements in the rear of the building.
3. The proposed exterior materials are cement board panels and glass. The applicant is proposing a ribbed architectural metal panel wrap around the columns at the donation drop-off area, but Staff is recommending that the columns should be wrapped in masonry for more durability.
4. The parcels will need to be combined as a condition of the approval.
5. The site will require ninety-six (96) off-street parking spaces but only eighty-eight (88) will be provided. The applicant has requested relief to the minimum number of off-street parking spaces.
6. There are no open or pending building or zoning code violations on the property.
7. The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.
8. The plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
9. A Class II Notice has been published. The formal public hearing can be held and the review authority can take final action on the Conditional Use Permit at this meeting.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.

Brian Wilke, AICP, Development Coordinator

Rich Schroeder, Deputy Director

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of City Inspections. This includes, but is not limited to Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain Driveway Approach, Public Right-of-Way Excavation, Stormwater Management and Parking Lot permits from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval. The site shall be limited to one monument sign.
 - d. The development shall be constructed per the approved plans on file with the Department of City Development, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of City Development for review and approval. Minor changes may be approved by the City Plan Division.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit.
 - f. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All roof top mechanicals shall be properly screened per Section 14.07 B.10 of the Zoning Ordinance.
 - h. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - i. The applicant shall meet all applicable Conditions of Approval and obtain a construction permit within twelve (12) months of City Plan Commission approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - j. Outdoor display and/or storage of products is prohibited.
 - k. All vehicles shall be parked within designated paved areas.
 - l. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - m. Cross access shall be provided to adjacent parcels, if required, at a future date by the City.

- n. Prior to final Occupancy of the building, the applicant shall provide an electronic copy of the following information to the Fire Prevention Bureau:
 - i. Site Plan as-built
 - ii. Floor Plan as-built
 - iii. Site Utilities
 - iv. Sprinkler Plans
 - v. Fire Alarm Plans
 - o. The General Contractor shall keep the active construction site secured at all times. The General Contractor shall maintain a list of all sub contractors working on the active site and their respective trades and make that list available to the City upon request. The General Contractor shall provide any necessary safety training to all sub contractors on the active construction site and maintain and update the list as it changes.
2. The following Conditions of Approval shall be satisfied with City Staff prior to the issuance of any construction permits:
- a. The Kenosha Water Utility, Storm Water Utility and Traffic plans shall be revised to address the comments in the GeoCivix letter dated March 14, 2024.
 - b. Prior to the issuance of any permits, the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. The recording fee for the Conditional Use Permit shall be submitted by the applicant.
 - c. The parcels must be combined into one parcel.
 - d. The canopy support columns at the donation drop-off area must be encased in a masonry material from ground level to the underside of the canopy.
 - e. Relief to the minimum number of off-street parking spaces must be granted by the City Plan Commission.
 - f. The Site Plan must show that the east property line will include a six-foot tall solid screen fence abutting any residential rear yard that does not currently have a solid screen fence. All barbed-wire must be removed from the existing fence.
 - g. The Site Plan and Engineering Plans must show that the paving on the property owned by the Wards (Parcel 04-122-12-131-013) will include paving connecting to their current paved driveway and all existing gravel on the site will be removed and restored with new paving or grass/landscaping.
 - h. The existing Private Road Maintenance Agreement between St. Vincent DePaul and Vernon and Anne Ward must be recorded with the Kenosha County Register of Deeds.
 - i. Site Plan A102 and Sheet C-3 differ in the amount of off-street parking spaces, specifically in the northeast corner of the parcel. Both plans must be corrected to be consistent with one another.



P: 262-653-4030
E: idtcd1@kenosha.org

625 52nd Street, Kenosha, WI 53140
www.kenosha.org

Applicant Name: Rodrigo CKpw_Kueny_18 Gutierrez
Applicant Company: Kueny Architects, LLC
Applicant Email: rodrigo@kuenyarch.com

Project Name: ST VINCENT DE PAUL ADDITION
Jurisdiction: City of Kenosha
ProjectID: 1146470

Thursday, March 14, 2024

The plans submitted for your project have been reviewed. These plans are **NOT APPROVED**.

The following items will be included as recommended conditions of approval with the City Plan Commission. If the conditions are approved, the items shall be addressed prior to resubmittal of revised project documents. Please respond to each individual item in the following list. When corrections have been made to all disciplines and the plans reflect those corrections by "clouding" any changes, you may submit a revised set of plans.

A complete set of plans (including sheets that may not have revisions) must be submitted. Partial submittals will not be accepted. If you have any questions, please contact your project administrator.

Open Issues: 16

Addressing

General Issues

1. Address Review

City City-Development-2
Kenosha
2626534037
idtdc2@kenosha.org

If these parcels would be combined, a (preliminary) address notice would indicate the primary address would remain 7531 30th Ave and the other four addresses (7547, 7551, 7553 30th Ave & 2920 76th St) would be removed/marked inactive. If the property owner would like to discuss addressing, please have them reach out to Public Works 262.653.4050.

Rodrigo
CKpw_Kueny_18
Gutierrez
262-857-8101
rodrigo@kuenyarch.com

The Parcels will be combined as requested.

City Development

General Issues

14. General Issue

City City-Development-1
Kenosha
2626534049
idtdc1@kenosha.org

The Parcels must be combined. A link to the parcel combination form will be included with the comment letter.

Rodrigo
CKpw_Kueny_18
Gutierrez
262-857-8101
rodrigo@kuenyarch.com

The Parcels will be combined as requested.

City City-Development-1
Kenosha
2626534049
idtdc1@kenosha.org

Understood. *Comment will remain open until the parcel combination is recorded.*

15. General Issue

City City-Development-1
Kenosha
2626534049
idtdc1@kenosha.org

All building materials shall be clearly labeled on the elevations.

Rodrigo
CKpw_Kueny_18
Gutierrez
262-857-8101
rodrigo@kuenyarch.com

All building materials are indicated on the exterior elevations on sheets A206, A207, and A208 showing all the materials used on the exterior elevations.

City City-Development-1
Kenosha
2626534049
idtdc1@kenosha.org

Building materials understood on the plan. Staff will recommend that the canopy support columns will need a masonry wrap, not architectural metal.

16. General Issue

City City-Development-1 Kenosha
2626534049
idtdc1@kenosha.org

Based on a square footage of 34,782 square feet as listed on the Site Plan, the site requires 139 parking spaces at a ratio of 1 space/250 square feet. The site appears to be 51 parking spaces short of that requirement. Provide a breakdown of the square footage of the building in sales area, warehousing, office, etc and we can recalculate the number of parking spaces required.

If enough spaces still can not be provided, you can petition the City Plan Commission for relief from the minimum number of required off-street parking spaces.

[Edited By City City-Development-1 Kenosha]

Rodrigo
CKpw_Kueny_18
Gutierrez
262-857-8101
rodrigo@kuenyarch.com

The facility will have 19,483 sf of sales area (1 stall per each 250 sf – 78 stalls), 650 sf of office area (1 stall per each 250 sf – 3 stalls), and 14,649 sf of warehouse area (1 stall per 1,000 sf – 14 stalls). The total numbers of stalls would be 96 stalls.

City City-Development-1 Kenosha
2626534049
idtdc1@kenosha.org

Request for relief to parking requirements will be heard at second public hearing of the Conditional Use Permit.

17. General Issue

City City-Development-1 Kenosha
2626534049
idtdc1@kenosha.org

Please provide written permission or copy of an easement from the property owner at 7603 30th Avenue for pavement across their property for your driveway.

Rodrigo
CKpw_Kueny_18
Gutierrez
262-857-8101
rodrigo@kuenyarch.com

See attached letter signed by the owner of the neighboring property

[Edited By Rodrigo CKpw_Kueny_18 Gutierrez]

City City-Development-1 Kenosha
2626534049
idtdc1@kenosha.org

You have complied with this requirement. However, City Staff would prefer and recommend that the Agreement between property owners be recorded with the Register of Deeds for the benefit of any future property owners. *This comment is remaining open so you can see our comments.*

20. General Issue

City City-Development-1 Kenosha
2626534049
idtdc1@kenosha.org

Show on the plans if there is a 6' tall screen fence along the east property line abutting the residential uses. Anywhere there isn't a 6' tall screen fence on your property or a neighbor's fence will need to show that a 6' tall screen fence will be installed.

Rodrigo
CKpw_Kueny_18
Gutierrez
262-857-8101
rodrigo@kuenyarch.com

he existing 6 ft chain link fence against the residential properties are shown in the civil plans and also on sheets A101 Site Plan – Existing, A102 Site Plan – Addition, and A103 Landscape Plan.

City City-Development-1 Kenosha
2626534049
idtdc1@kenosha.org

The Site Plan must show that the west property will include a six-foot tall solid screen fence along any residential rear yard that does not currently have a solid screen fence. All barbed-wire must be removed from the existing fence.

25. Paving Plan

City City-Development-1 Kenosha
2626534049
idtd1@kenosha.org

The Site Plan and Engineering Plans must show that the paving on the property owned by the Wards (Parcel 04-122-12-131-013) will include paving connecting to their current paved driveway and all existing gravel on the site will be removed and restored with new paving or grass/landscaping.
[Edited By City City-Development-1 Kenosha]

26. Agreement

City City-Development-1 Kenosha
2626534049
idtd1@kenosha.org

The existing Private Road Maintenance Agreement between St. Vincent DePaul and Vernon and Anne Ward must be recorded with the Kenosha County Register of Deeds.

27. Parking Configuration

City City-Development-1 Kenosha
2626534049
idtd1@kenosha.org

Site Plan A102 and Sheet C-3 differ in the amount of off-street parking spaces, specifically in the northeast corner of the parcel. Both plans must be corrected to be consistent with one another.

Kenosha Water Utility

General Issues

6. Utility Plan

Leif Jackson
2626534201
idtkwu2@kenosha.org

Please show all existing water and sanitary sewer facilities for the site. Currently, these utilities have been omitted from the plan.

Rodrigo
CKpw_Kueny_18
Gutierrez
262-857-8101
rodrigo@kuenyarch.com

See civil plans showing existing sewer and water lines.

Leif Jackson
2626534201
idtkwu2@kenosha.org

Please show the existing sanitary lateral on the Utility Plan. This includes the portion of the lateral located within the Project Site, on private property.

21. Water Service/Storm Sewer Crossing

Leif Jackson
2626534201
idtkwu2@kenosha.org

The newly included storm sewer along the western frontage of the building will cross the existing water service at a depth of approximately four feet (4'), which may impact the build's water service. Note that a minimum eighteen inches (18") of clearance are required when a potential contamination source, such as a storm sewer, passes over water infrastructure.

Please pothole the existing water service to confirm the top of pipe elevation and confirm the required clearance will exist between these utilities; and/or include notes and call-outs requiring the clearance to be verified during construction, with the water service to be offset if there will be less than eighteen inches (18") of separation.

Additionally, in order to help ensure the line does not freeze during the winter, note four inches (4") of insulation are required when there are less than two feet (2') of separation between these utilities. Please include a note/call-out reflecting this requirement.

22. Water Meter Upsize

Leif Jackson
2626534201
idtkwu2@kenosha.org

It was confirmed through the previous review that the existing water meter is to be up-sized from a three quarter inch ($\frac{3}{4}$ ") meter to a one inch (1") meter. Please note that there is an Associated Sewer Impact Fee which is dictated by the size of the water meter employed. A three quarter inch ($\frac{3}{4}$ ") water meter has a Sewer Impact Fee of \$3,281.00, whereas a one inch (1") meter has a fee of \$8,204.00. The fee from the existing meter can be applied as a credit towards the new meter, making the required fee to update \$4,923.00, which must be paid in full at the time permits are obtained. A form of this note will appear on all subsequent reviews.

For a complete breakdown of KWU's fee structure, please see our brochure on the City Web through the hyperlink below:

[KWU 2022 Water & Sewerage Service Rates](#)

23. Existing Water Meter Setup

Leif Jackson
2626534201
idtkwu2@kenosha.org

Note that the existing water meter setup may need to be reconfigured in order to ensure compliance with modern standards. Including but not limited to meter mounting, accessibility, and valving requirements. Please coordinate the installation with Marco Giese from KWU's meter shop, who can be reached at (262) 818-4168. Note that his sign-off on the metering setup will be tied to KWU's signoff on Occupancy for the Project.

Stormwater

General Issues

4. Grading

City Clark-Dietz-1
Kenosha
2626534201
idtclark1@kenosha.org

It appears that the addition is less than 50% of the existing building and under 1 acre of disturbance. Please clarify the following:

1. Please clarify limits of disturbance.? It appears that the parking lot will also be repaved.
 1. If the parking lot is regraded, that improvement will be considered part of the disturbed area.
 2. If the parking lot is repaved to the same grade as the existing condition, it is considered maintenance and not part of the disturbed area.
2. A grading plan shall be submitted that includes spot grades at sidewalks, curb lines, match lines, high points, low points, grade breaks, islands, etc.
3. Please clarify site area calculation table in the top left on Site Plan (A102). Both tables are labeled as "existing condition".

[Edited By City Clark-Dietz-1 Kenosha]

Rodrigo
CKpw_Kueny_18
Gutierrez
262-857-8101
rodrigo@kuenyarch.com

- 1.1 See stormwater management plan for proposed extent of "disturbance".**
- 1.2 pavement reconstruction is proposed east and south of the building.**
- Total disturbance is 0.97 acres.**
- 2.0 See sheets C-6 and C-7 of the attached Civil Plans**
- 3.0 Title sheet for the new site calculation on Site Plan A102 was corrected.**
- Site data on sheet C-3 has also been updated.**

City Clark-Dietz-1
Kenosha
2626534201
idtclark1@kenosha.org

There appears to be a discrepancy between the area measurements shown on Sheets A101, A102, and C-3. Please clarify the correct site data, area calculations and measurements.

24. Storm Sewer

City Clark-Dietz-1
Kenosha
2626534201
idtclark1@kenosha.org

Calculations shall be provided to show the proposed storm sewer meets the City of Kenosha Stormwater Management Criteria for Design of Storm Sewers, last revised November 2016 (Form #PWU005)

- a. Please specify on the plans that storm sewer within the right-of-way shall be reinforced concrete pipe.
- b. Please consider bulkheading both ends of abandoned storm sewer.

[Edited By City Clark-Dietz-1 Kenosha]

Traffic

General Issues

3. General Notes

City PublicWorks-1
Kenosha
262-653-4050
idtpw1@kenosha.org

- City Ordinance for site lighting requires the allowable light spillover at property line abutting residential properties shall be 0.50 maximum foot candles and for non-residential properties 0.75 average foot candles. Please overlaying the new site lighting on remaining existing site lighting in a combined photometric plan that meets Ordinance requirements. New illumination shall meet the minimum standards of the Illuminating Engineering Society of America. Please provide typical detail for any new poles and fixtures.
- New parking areas and proposed changes to existing parking areas need to meet City Ordinance requirements such as each parking row, regardless of length, should begin and end with an 8-foot wide landscaped island with barrier type curb, and shall include at least one 2 ½-inch deciduous caliper tree. Parking areas that are to be left untouched can remain as is.
- A minimum of a 5-foot-wide paved ADA accessible sidewalk must be provided connecting public sidewalk to building entrance, separate from vehicle driveway, and clearly marked
- All parking and drive areas need to be paved.
- Proposed private curb and gutter within this development that meets public sidewalk should have a 5-foot curb head taper.
- Please show sidewalk width on plans. Sidewalks need to be minimum 5-foot wide. Parked vehicles cannot encroach over that 5-foot width. Typically, a parking block offset 2-foot into parking stall or a 2-foot wider sidewalk resolves this issue.
- No proposed parking space shall extend closer than two (2') feet to any abutting property line or to the line or any right-of-way and a substantial and permanent bumper shall be placed so as to separate motor vehicles from abutting property lines or from the line of any street right-of-way so as to prevent the motor vehicle from crossing said lines. Please show property line more clearly so compliance to this requirement can be acknowledged.
- For new parking and any altered parking, please show parking stall and aisle dimensions on plans which are in compliance with General Ordinance 5.08 C table 1. Please show the vehicle routing or turnaround area and exit lane for the proposed parallel parking on east side of building and the one way parking on south side of building.
- Please include in plan set typical details for proposed pavements, sidewalks, curb and gutter, HC parking stalls/signs, etc.
-

[Edited By City PublicWorks-1 Kenosha]

Rodrigo
CKpw_Kueny_18
Gutierrez
262-857-8101
rodrigo@kuenyarch.com

- R. See attached Photometric Plan.**
- R. See revised sheet A103 showing the additional required landscaped areas.**
- R. See sheets C-3 and C0-7 of the civil plans for details.**
- R. All Parking areas are paved. See attached civil plans for details.**
- R. See sheets C-7 of the civil plans for details.**
- R. The pavement along the parcel's north line is shown to be trimmed back to the 2' dimension.**
- R. See sheet C-3 of the attached civil plans for details. A Semi turning movement analysis has also been provided. See attached Sheet C-3.1.**
- R. See sheets C-9 to C-11 of the civil plans for details.**

City PublicWorks-1
Kenosha
262-653-4050
idtpw1@kenosha.org

1. Photometric plan, areas that are being reconstructed need to meet City Ordinance required fc levels. The fc level of zero does not meet requirements.
2. Addressed,
3. Addressed,
4. Addressed,
5. Please more clearly reference curb head taper detail 5 found on page C-11 on sheet C-7.
6. Addressed,
7. Driveway paving is shown on adjacent parcel owned by Vernon Ward. Two foot buffer with substantial barrier requirement not meet. Paving and driving on neighbor's property is an issue that needs to be resolved. Zoning ordinance does not allow access to commercial uses by driving across residential property, per zoning Ordinance 14.C.14.h.(4).(a) "Vehicular access to any nonresidential structure, use, parking or loading facility shall not be gained across land zoned for a residential use, except where authorized by the Review Authority, with due consideration to special circumstances."
8. Please add angle of slanted parking stalls,
9. Address, please add details as necessary to support any future plan changes,

[Edited By City PublicWorks-1 Kenosha]



P: 262-653-4030
E: idtcd1@kenosha.org

625 52nd Street, Kenosha, WI 53140
www.kenosha.org

Project Overview **#1146470**

Project Title: ST VINCENT DE PAUL ADDITION **Jurisdiction:** City of Kenosha
Application Type: Electronic Review **State:** WI
Workflow: Express Workflow **County:** Kenosha

Contact Information

Project Contact - Agent/Representative
JOHN SCHMIDBAUER
KUENY ARCHITECTS
10505 CORPORATE DRME, SUITE 100
PLEASANT PRAIRIE, WI 53158
P:2628578101
johns@kuenyarch.com

Please indicate which of the following contacts are included in this project.: Architect

Property Owner
LISA ROBERTS
ST VINCENT DE PAUL
7531 30th AVE
KENOSHA, WI 53142
P:(262) 764-1985
lisastvdpkenosha@gmail.com

Architect
JON WALLENKAMP
KUENY ARCHITECTS
10505 CORPORATE DRIVE, SUITE 100
PLEASANT PRAIRIE, WI 53158
P:2628578101
johns@kuenyarch.com

Project Information

Project Address: 7531 30TH AVE

Project Type: Site Plan Review

Project Description:

Project Valuation: \$2,200,000.00

New 6,697 SF addition on the east side of the existing St Vincent de Paul facility and main entrance remodel. The addition also includes a new loading dock area and expanded warehouse area.

Is the property subject to any easements, covenants, or other restrictions?: No

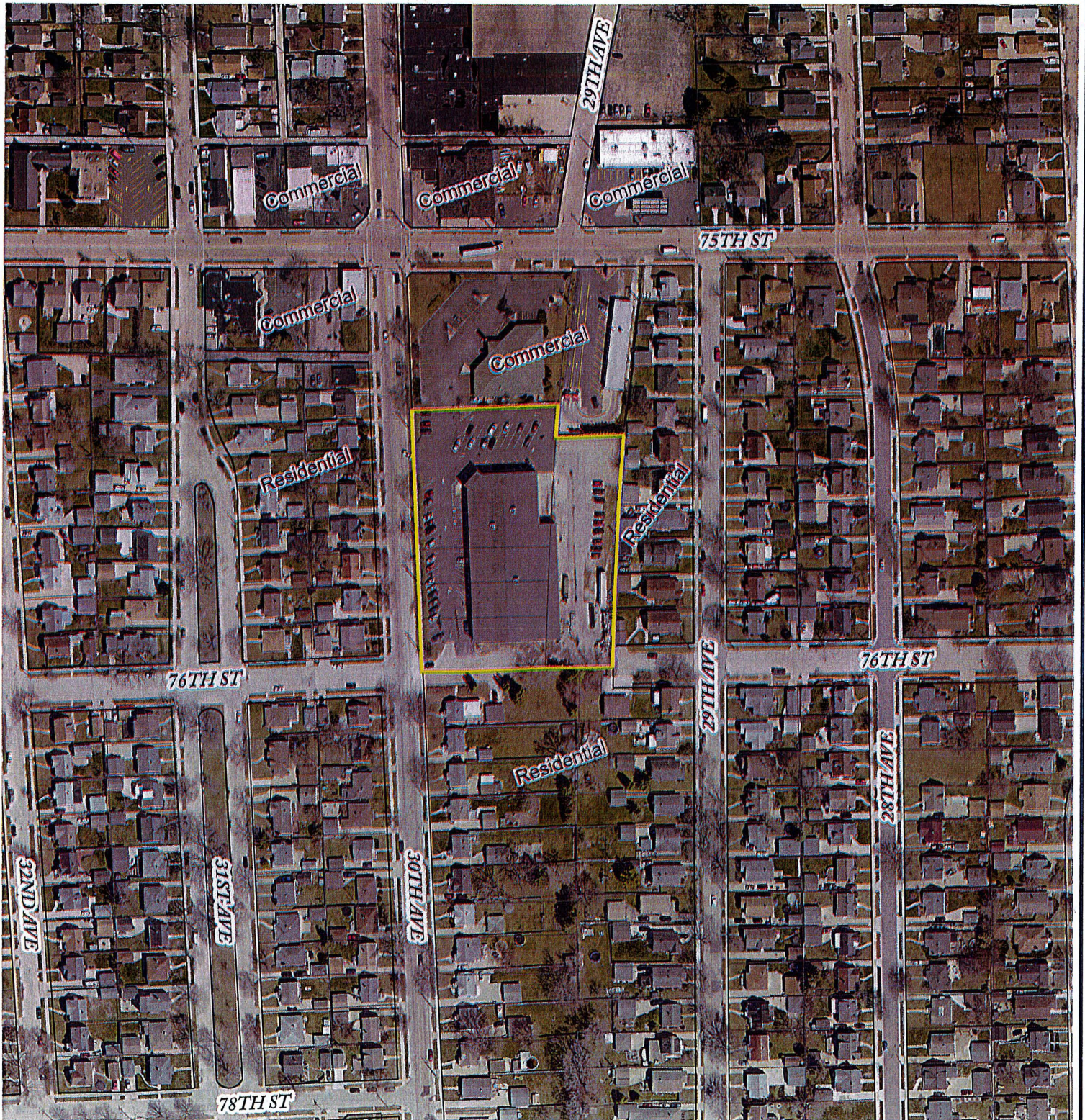
Please indicate the restrictions that apply.:

Proposed Use: Warehouse and new food pantry area.

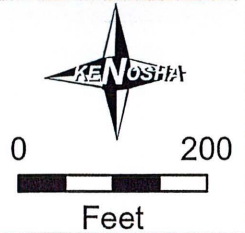
Total Square Footage of Project: 6697

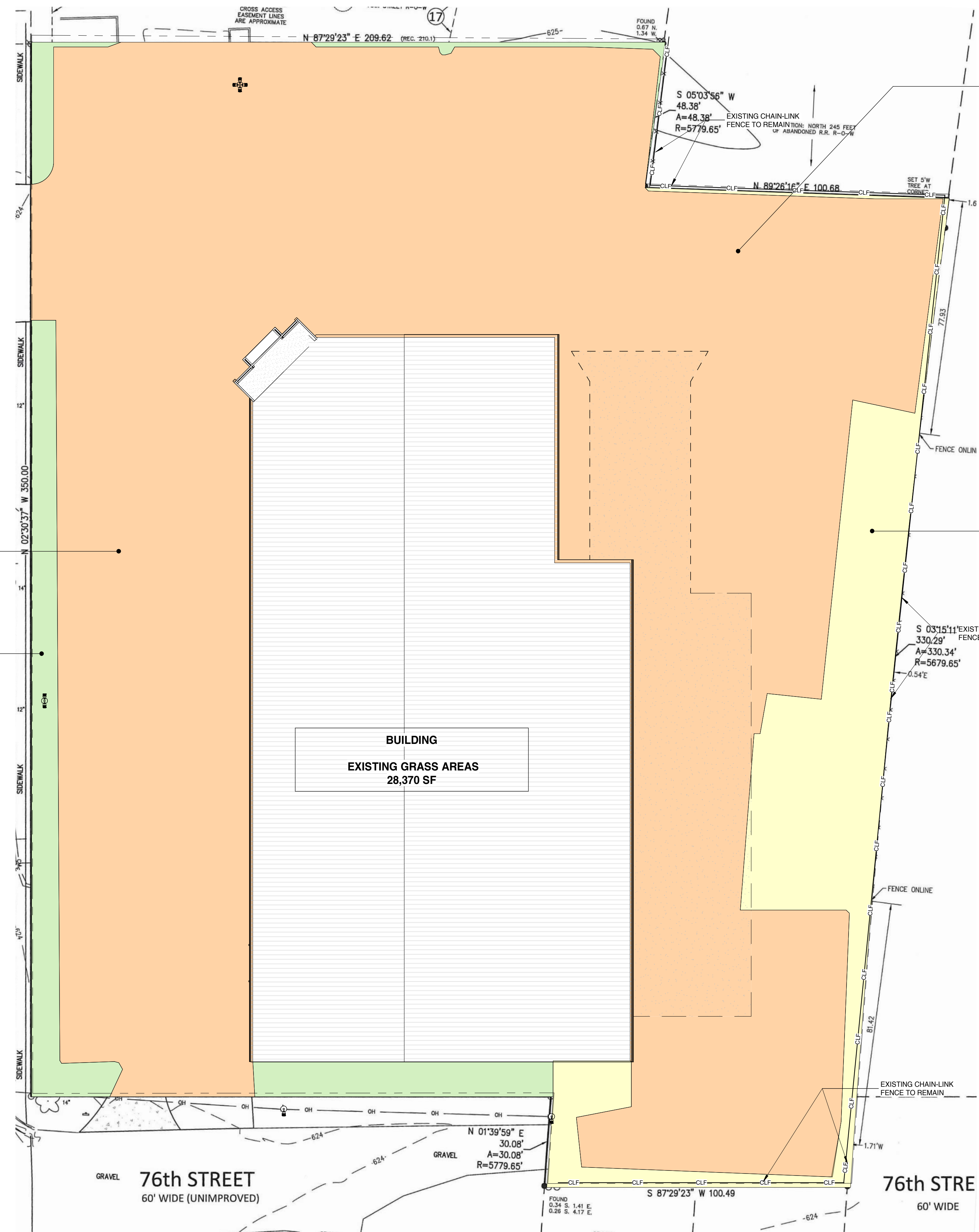
Project Acreage: 2.27

Vicinity Map
St. Vincent de Paul
Conditional Use Permit



 Subject Property





ORANGE
EXISTING ASPHALT AREAS
59,548 SF

GREEN
EXISTING GRASS AREAS
4,175 SF

BUILDING
EXISTING GRASS AREAS
28,370 SF

ORANGE AREA = ASPHALT

YELLOW
MIX GRAVEL AND GRASS AREA
7,145 SF

1 Site Plan - Existing
3/64" = 1'-0"

KEYNOTE LEGEND

Keynote Legend	
03 30 00.04	8" CONCRETE SLAB OVER 8" CRUSHED STONE, SLAB TYPE "C"
03 30 00.16	CONCRETE SLAB PER CIVIL PLANS AND SPECS
03 30 00.17	TYP. CONTROL JOINTS
04 20 00.18	8" SPLIT FACE MASONRY WALL, PROVIDE ALL REINFORCING AS REQUIRED
05 12 00.06	STEEL BOLARD w/PLASTIC YELLOW COVER PER DETAILS
32 31 00.02	CHAIN LINK FENCE SWING GATE WITH PRIVACY SLOTS & LOCKABLE LATCH
32 31 00.04	SIDE GATE FOR SIDE ACCESS TO DUMPSTER
32 31 00.05	FRONT GATE FOR DUMPSTER REMOVAL

SITE AREA CALCULATIONS - EXISTING CONDITION

TOTAL LOT AREA	99,096 SF	100 %
EXISTING BUILDING	28,085 SF	28 %
EXISTING ASPHALT / CONCRETE AREA	59,119 SF	60 %
EXISTING MIX GRAVEL / GRASS AREA	6,937 SF	7 %
EXISTING GRASS AREA	4,955 SF	5 %

SITE AREA CALCULATIONS - NEW

TOTAL LOT AREA	99,096 SF	100 %
EXISTING BUILDING	28,085 SF	28 %
ADDITION	6,697 SF	7 %
NEW ASPHALT / CONCRETE AREA	56,170 SF	57 %
NEW GRASS AREA	8,306 SF	8 %

PARKING REQUIREMENTS

EXISTING BUILDING	28,085 SF	
ADDITION	6,697 SF	
TOTAL AREA	34,782 SF	

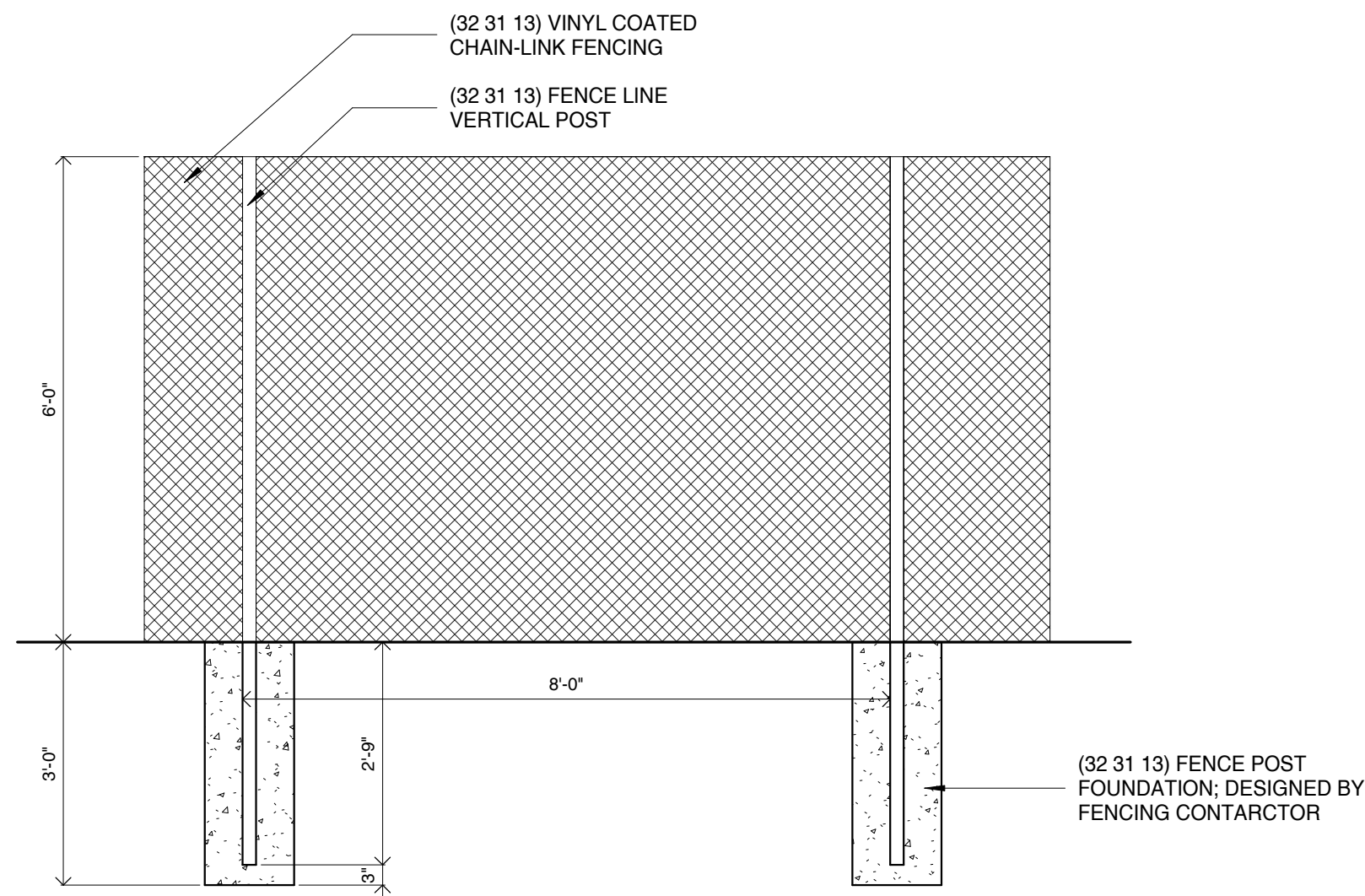
PARING REQUIREMENTS PER CODE (1/250 FT Gross)

34,782 / 250	139 STALLS
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PARKING BY AREAS

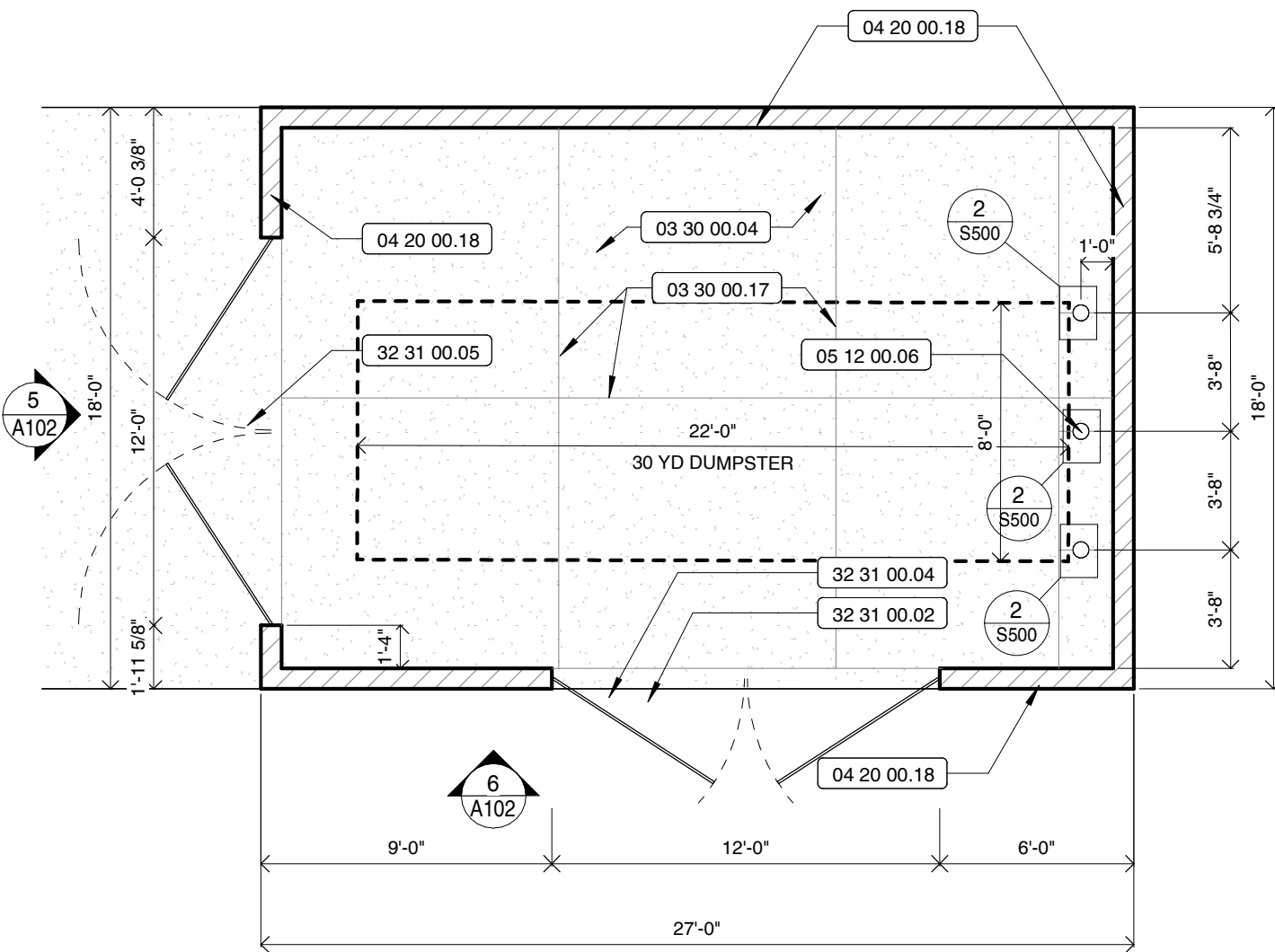
SALES	19,483 SF / 250	78 STALLS
OFFICE	650 SF / 250	3 STALLS
WAREHOUSE	14,649 SF / 1,000 SF	15 STALLS
TOTAL	34,782 SF	96 STALLS

TOTAL STALLS PROVIDED: 90 STALLS

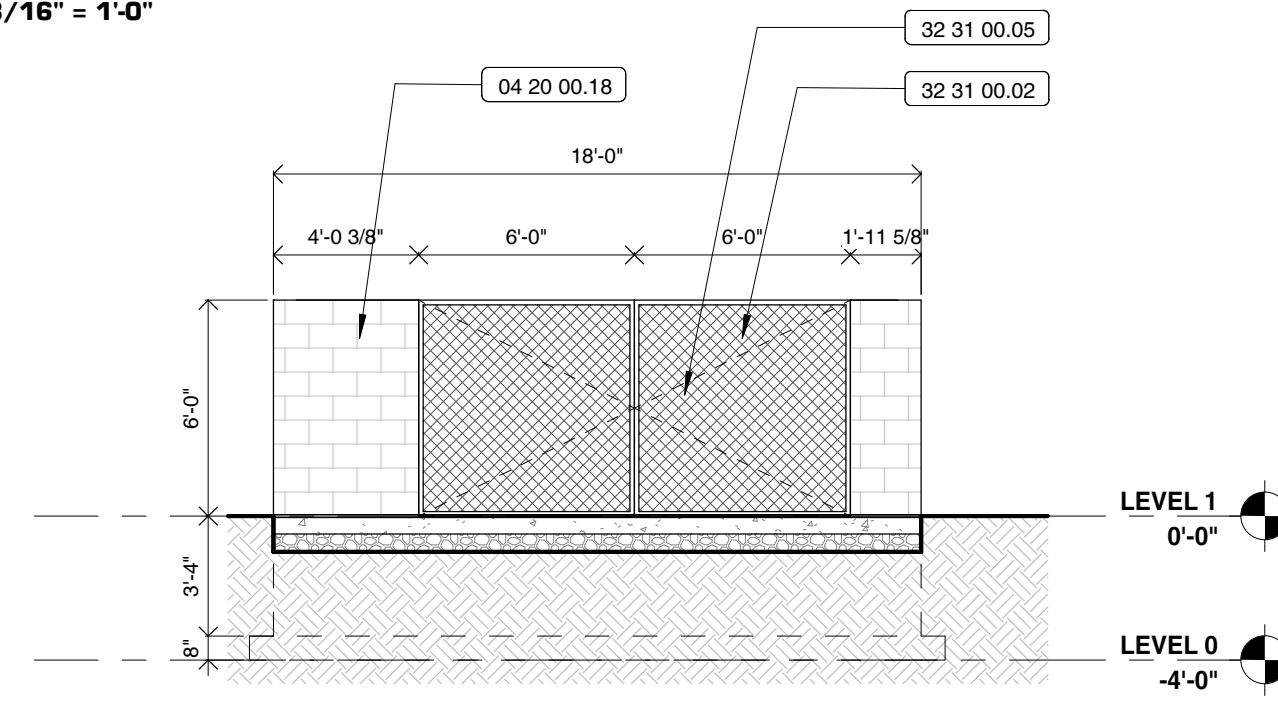


* PRIVACY SLATS AT DUMPSTER ENCLOSURE; LOCATION PER SITE PLANS

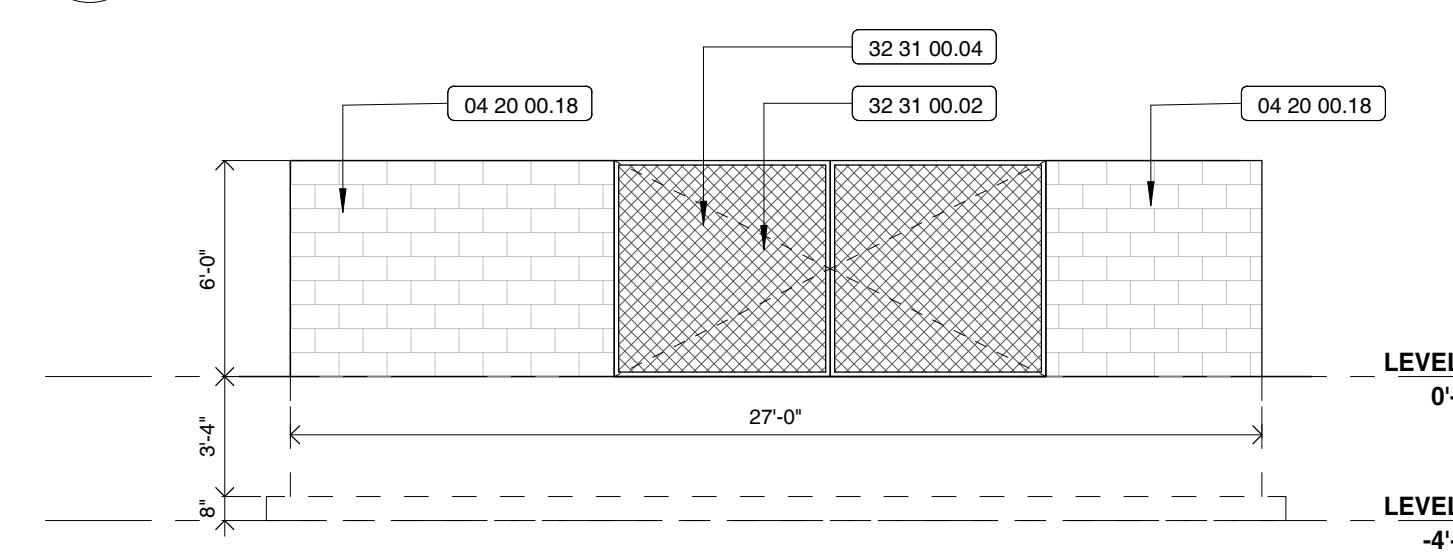
2 Fence Detail - Standard
1/2" = 1'-0"



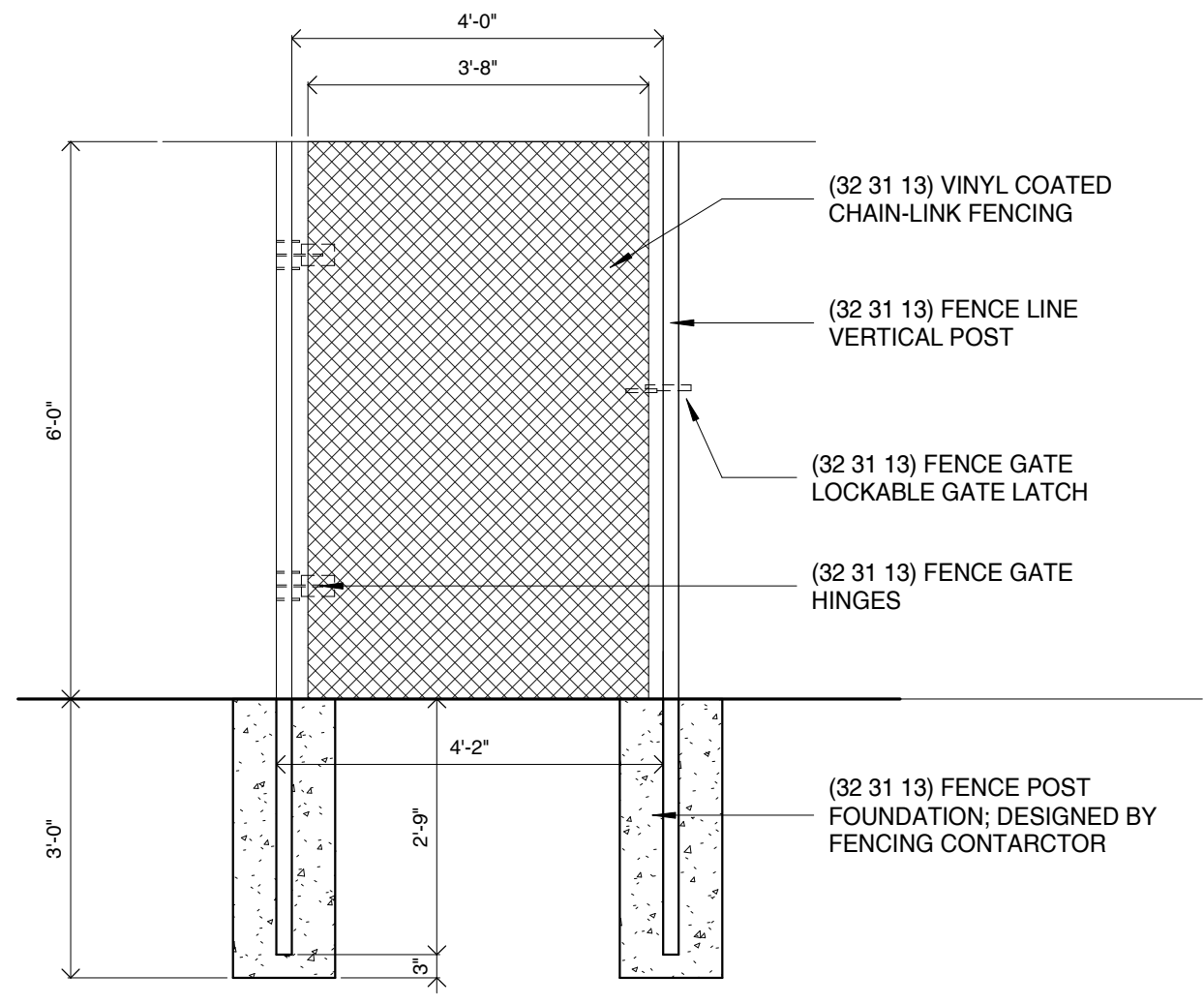
4 Dumpster Area - Enlarged Plan
3/16" = 1'-0"



5 Dumpster Elevation - West
3/16" = 1'-0"

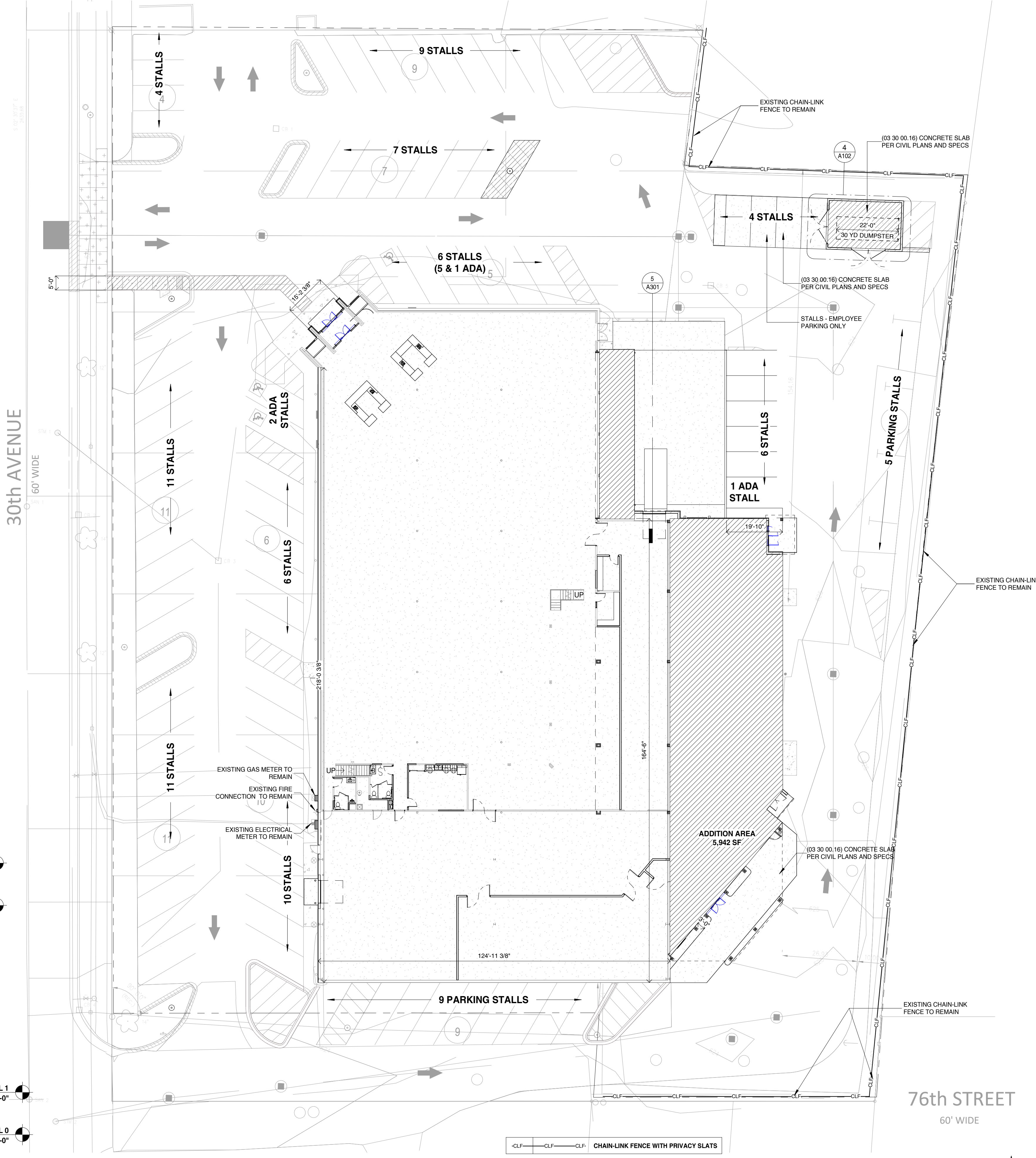


6 Dumpster Elevation - South
3/16" = 1'-0"



* PRIVACY SLATS AT DUMPSTER ENCLOSURE; LOCATION PER SITE PLANS

3 Fence Detail - Standard Gate
1/2" = 1'-0"



1 Site Plan - Addition
1" = 20'-0"

City Plan Review Comments November 3, 2023
Site Plan - Addition
 kuenyarch.com ©2024 Kueny Architects L.L.C. - All Rights Reserved
 St. Vincent de Paul - Addition & Main Entrance Remodel
 7531 30th Ave, Kenosha, WI 53142
 February 20, 2024

76th STREET
60' WIDE

PLAN NORTH
SCALE: As indicated
A102

KEYNOTE LEGEND	
	RE-GRAD AND RE-SEED ALL DISTURBED AREAS
	6 FT DIAM. AREA W/ MULCH (4" DEEP) OVER LANDSCAPE PAPER AND PLASTIC LANDSCAPE EDGE AROUND ALL TREES AND BUSHES AS NOTED ON PLANS

TREES			
RO	Quercus Rubra	Red Oak	2-1/2" Cal
SM	Acer saccharum 'Baillista'	Sugar Maple	2-1/2" Cal
EGA	Thuja Occidentalis 'Emerald Green'	Emerald Green Arborvitae	2-1/2" Cal
SHRUBS			
SO	Hemerocallis 'Stella de Oro'	Stella de Oro 'Daylily'	#5 Cont.
BES	Rudbeckia Hirta	Black Eyed Susan	#5 Cont.
ORNAMENTAL GRASSES			
KF	Calamagrostis acutiflora 'Karl Foerster's'	Karl Foerster Feather Reed Grass	36" Triangle
SSG	Panicum Virgatum 'Shenandoah'	Shenandoah Switchgrass	36" Triangle

GRASS SEED

- ALL DISTURBED AREAS SHALL BE RESEED.

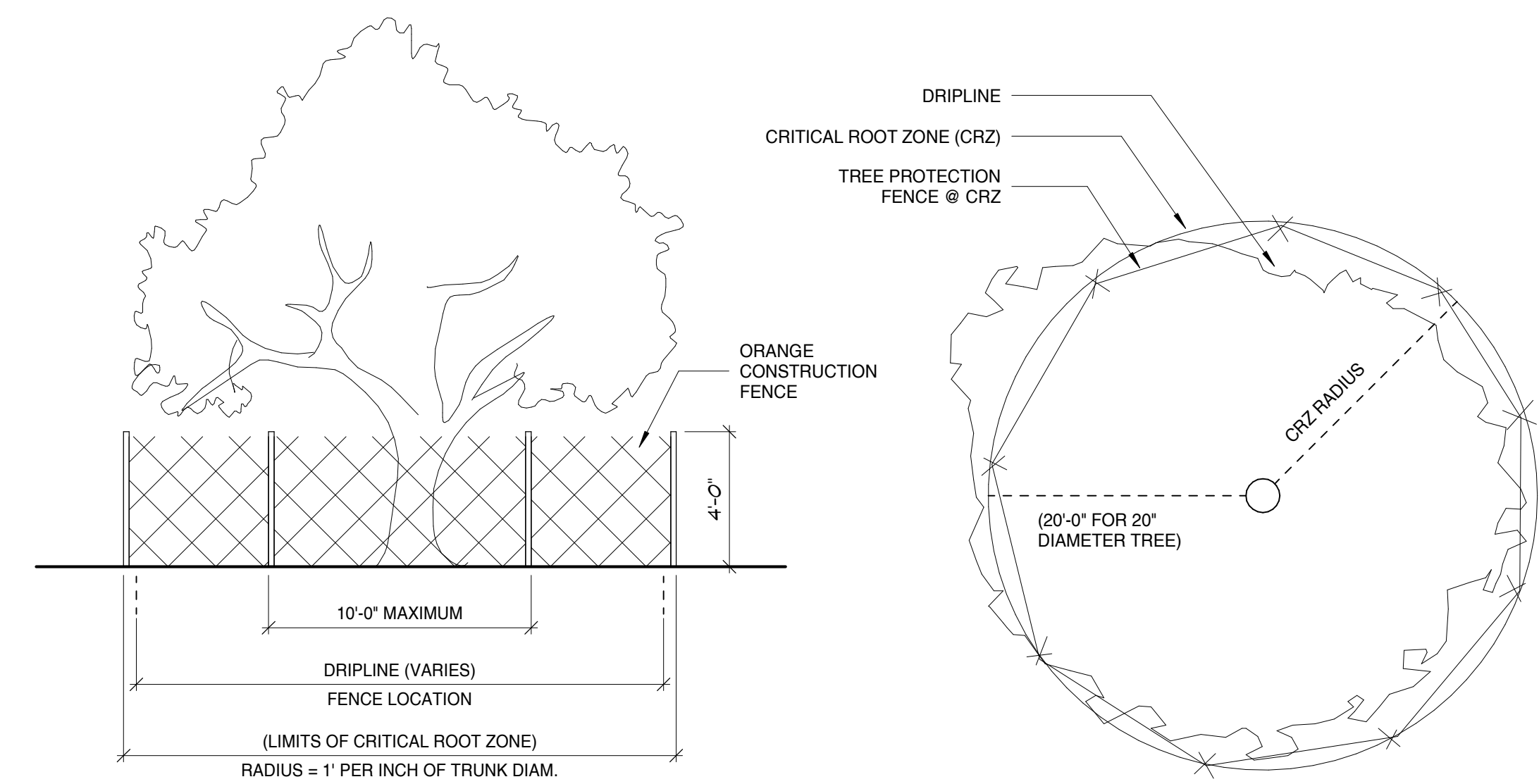
1- GENERAL: ALL SEED SHALL BE

- FREE FROM NOXIOUS WEED SEEDS AND RECLEANED
- GRAGE A RECENT CROP SEED
- TREATED WITH APPROPRIATE FUNGICIDE AT TIME OF MIXING.
- DELIVERED TO THE SITE IN SEALED CONTAINERS WITH DEALER'S GUARANTEED ANALYSIS AND SEASON CERTIFICATION OF WEIGHT, PURITY, AND GERMINATION

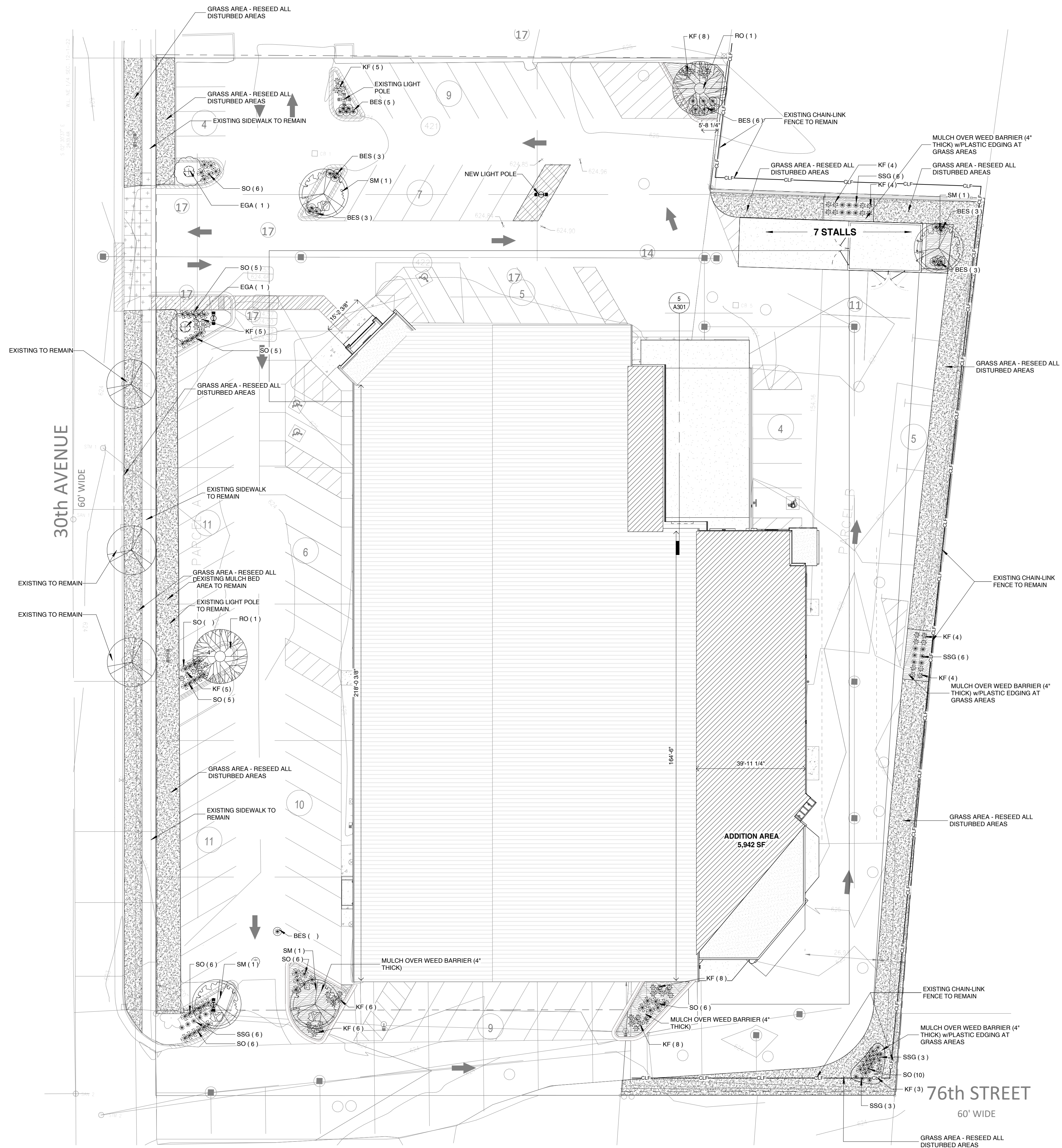
2- PROPORTIONS BY WEIGHT

A. BARON BLUEGRASS	20%
B. MAJESTIC BLUEGRASS	20%
C. TOUCHDOWN BLUEGRASS	20%
D. PENNLAWN FESCUE	20%
E. FIESTA RYE GRASS	20%

(OR APPROVED EQUAL)



2 Tree Protection Detail
1/4" = 1'-0"

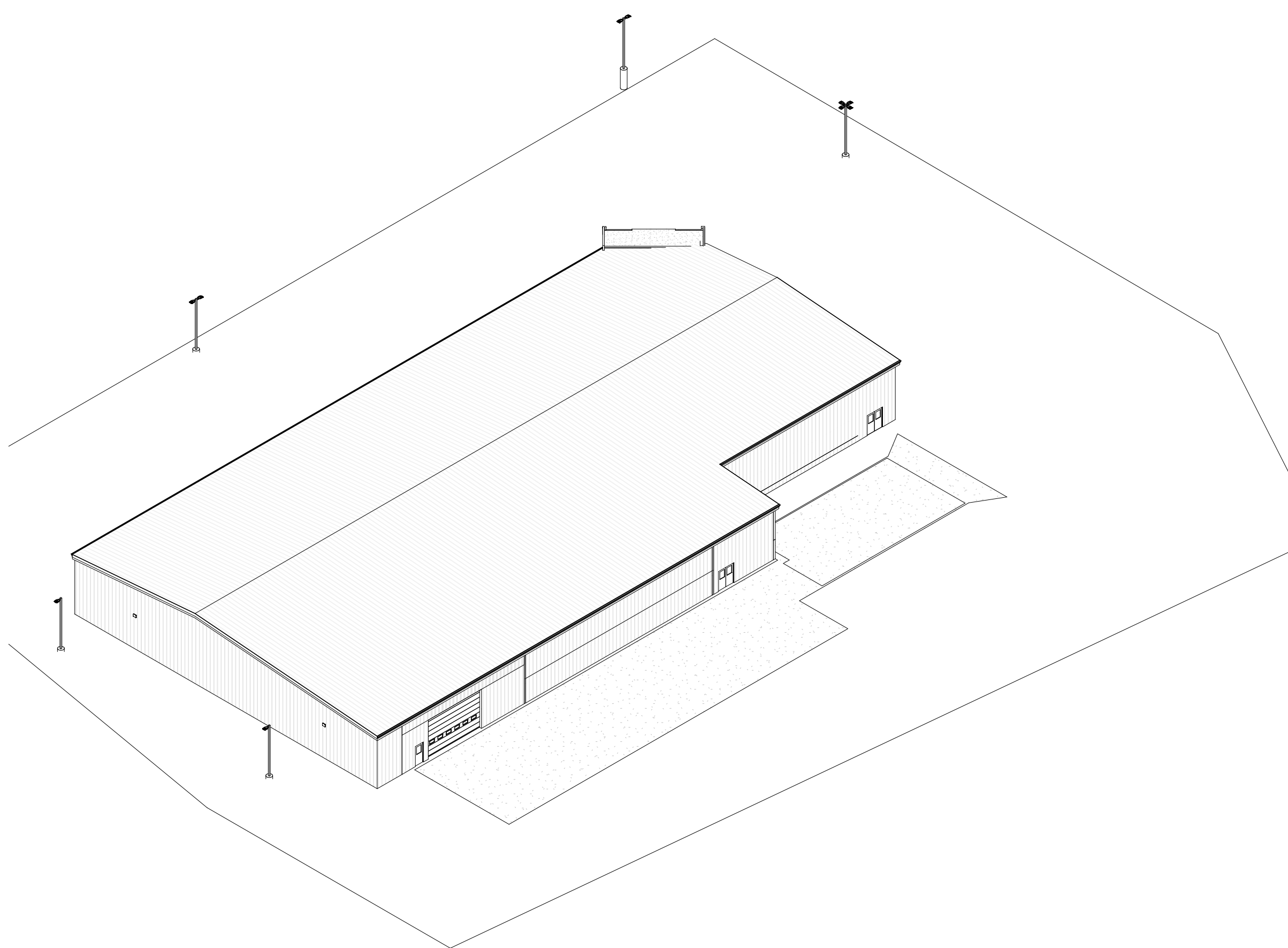


1 Site Plan - Addition - Landscape
1" = 20'-0"

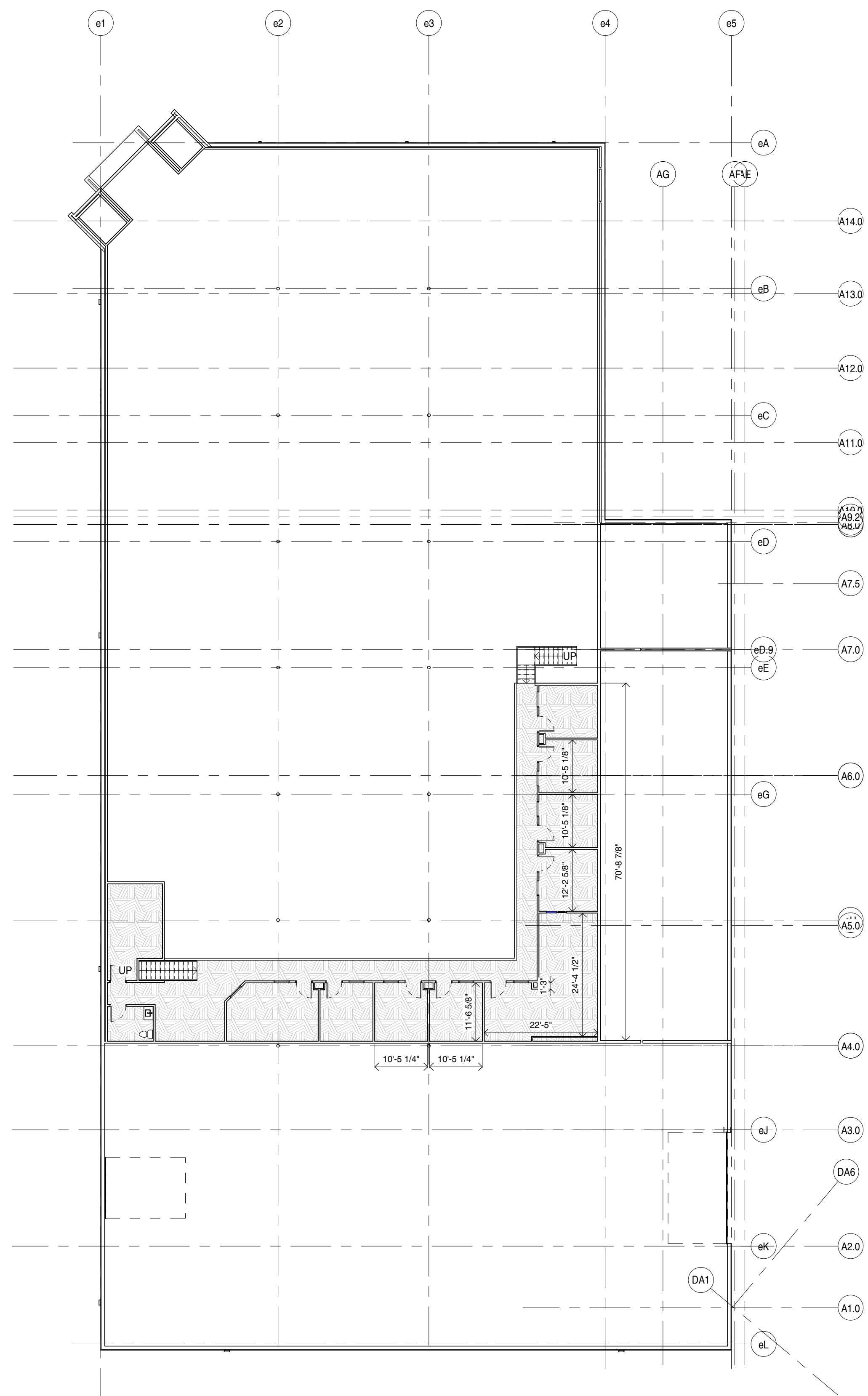
City Plan Review Comments November 3, 2023

Landscape Plan
kuenyarch.com ©2024 Kueny Architects L.L.C. - All Rights Reserved
St Vincent de Paul - Addition & Main Entrance Remodel
7531 30th Ave, Kenosha, WI 53142
February 20, 2024

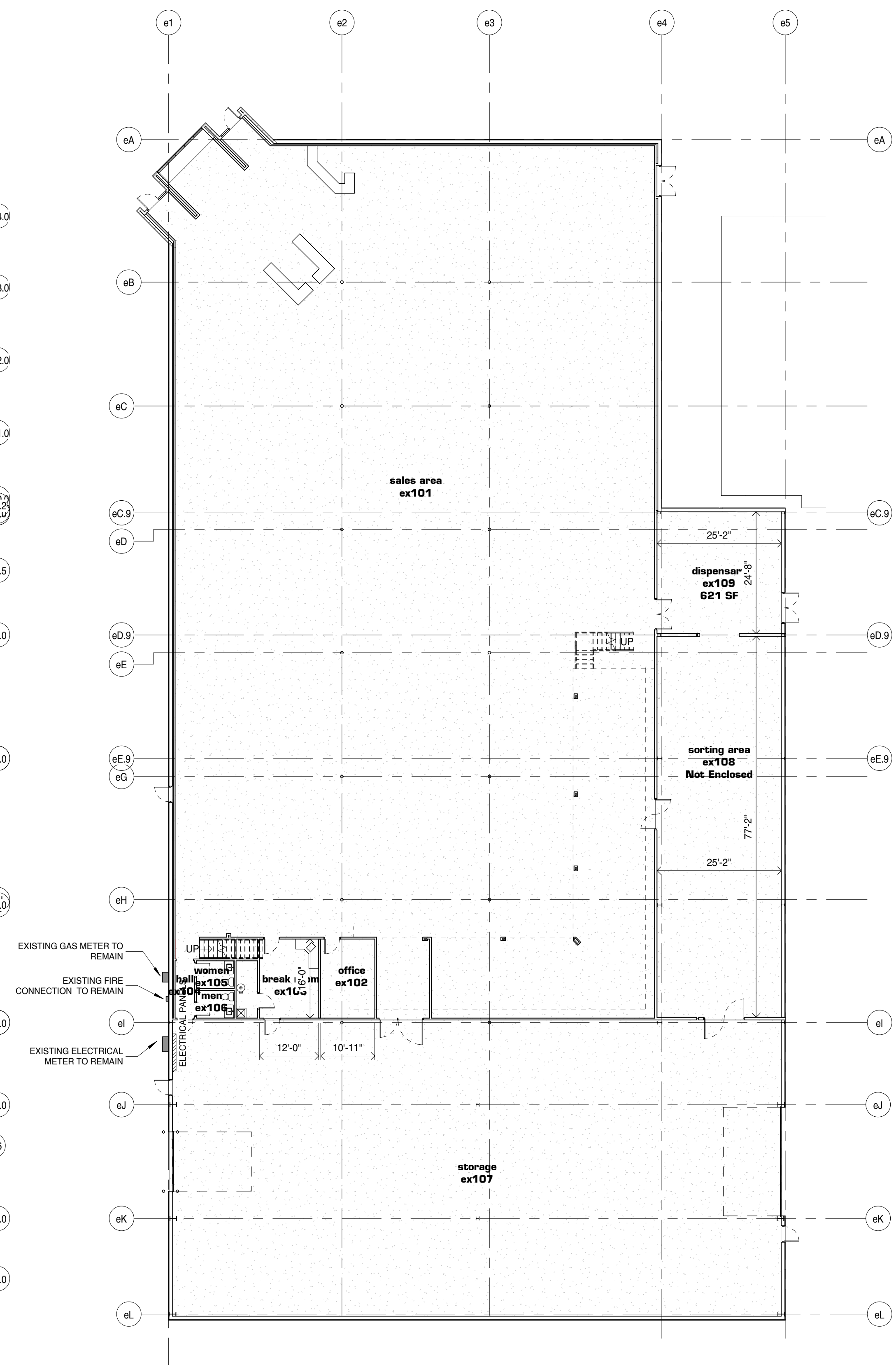
PLAN NORTH
SCALE: As indicated
A103



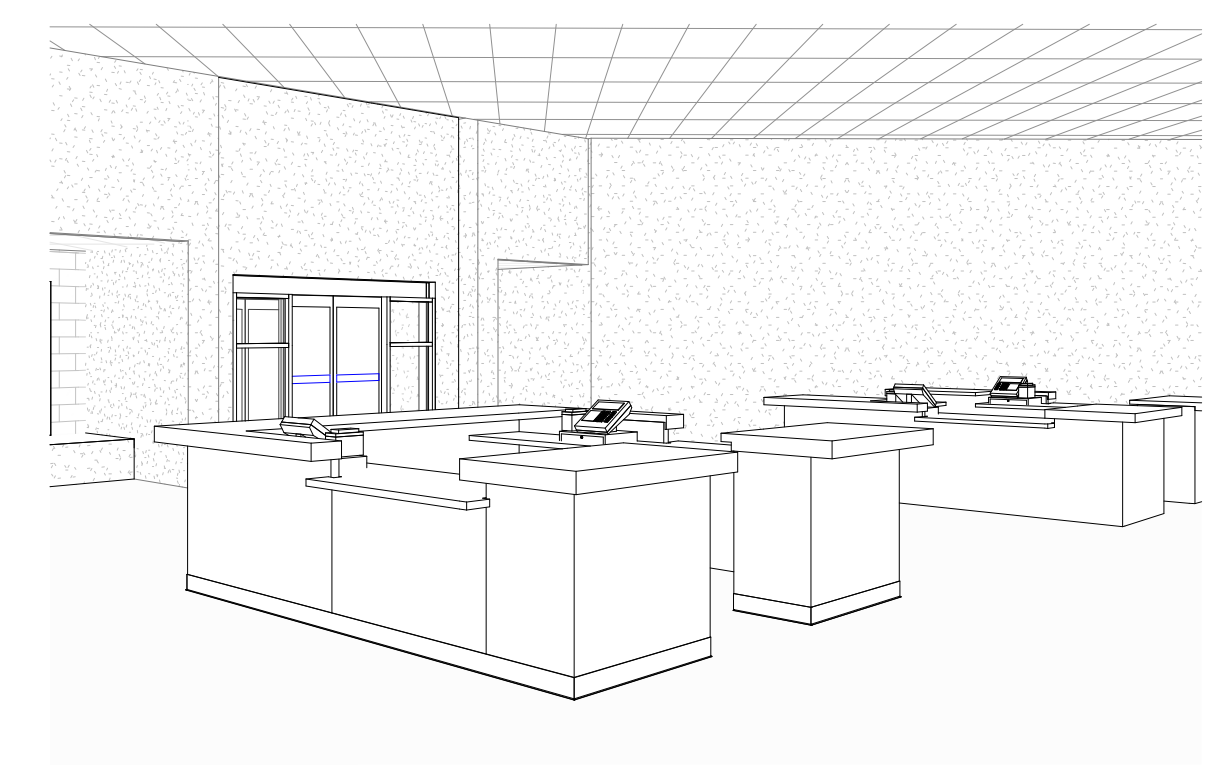
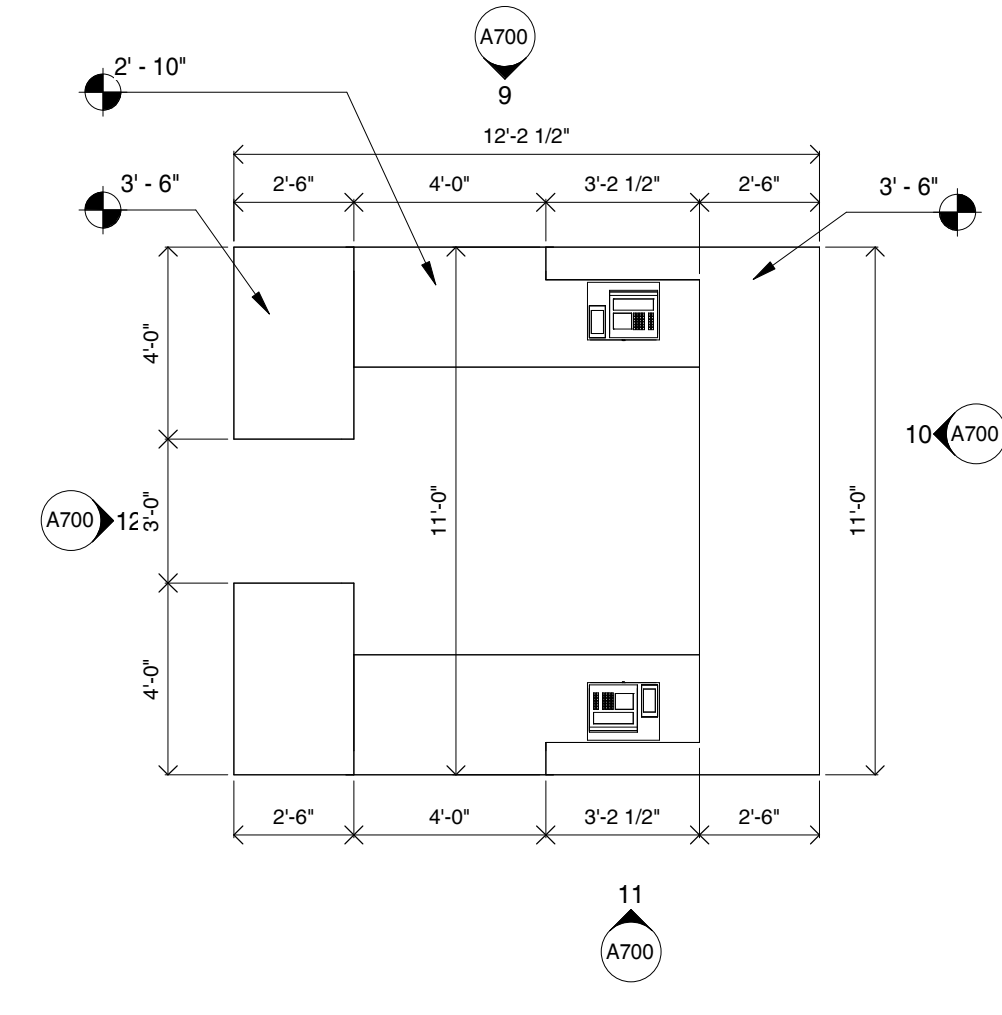
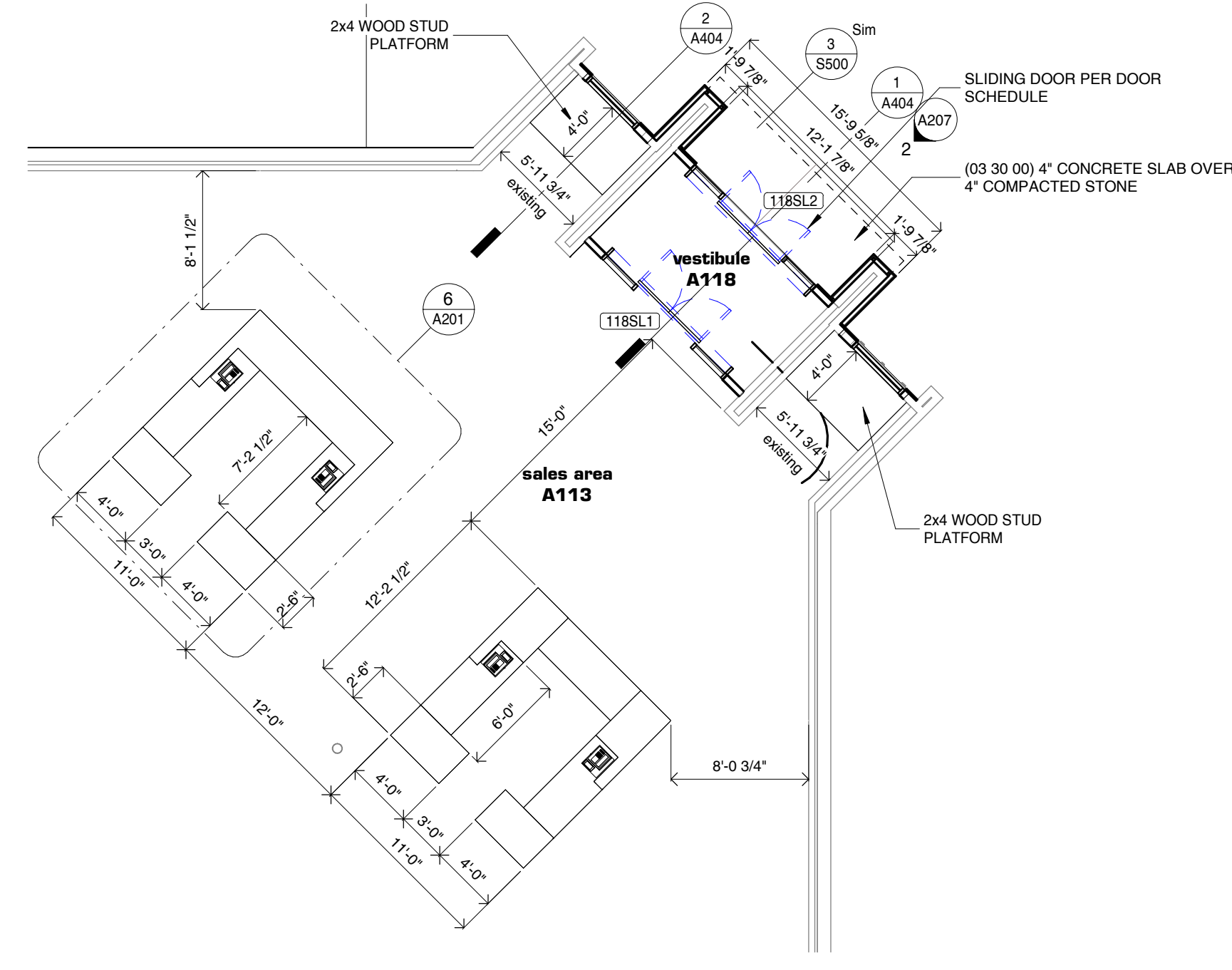
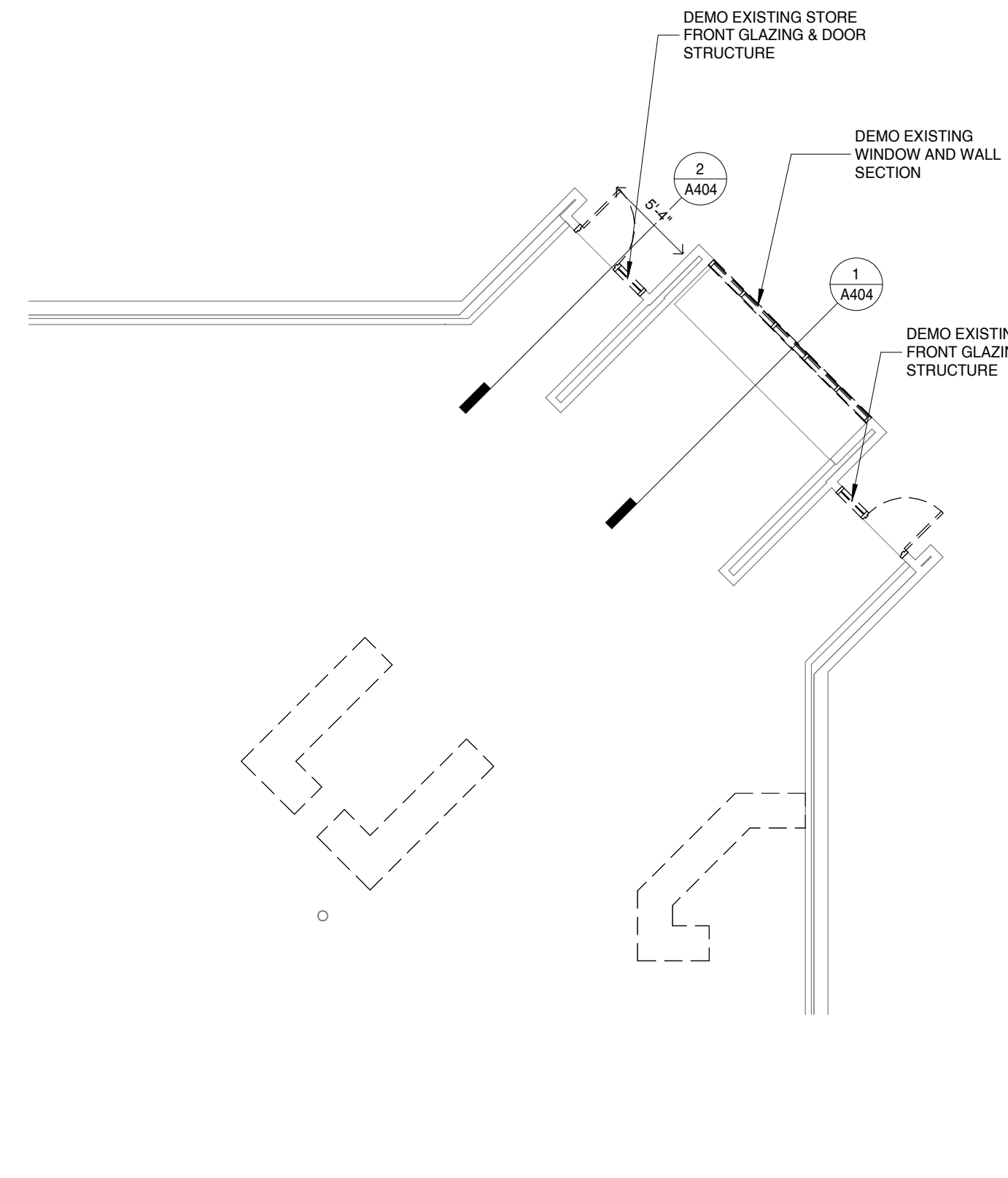
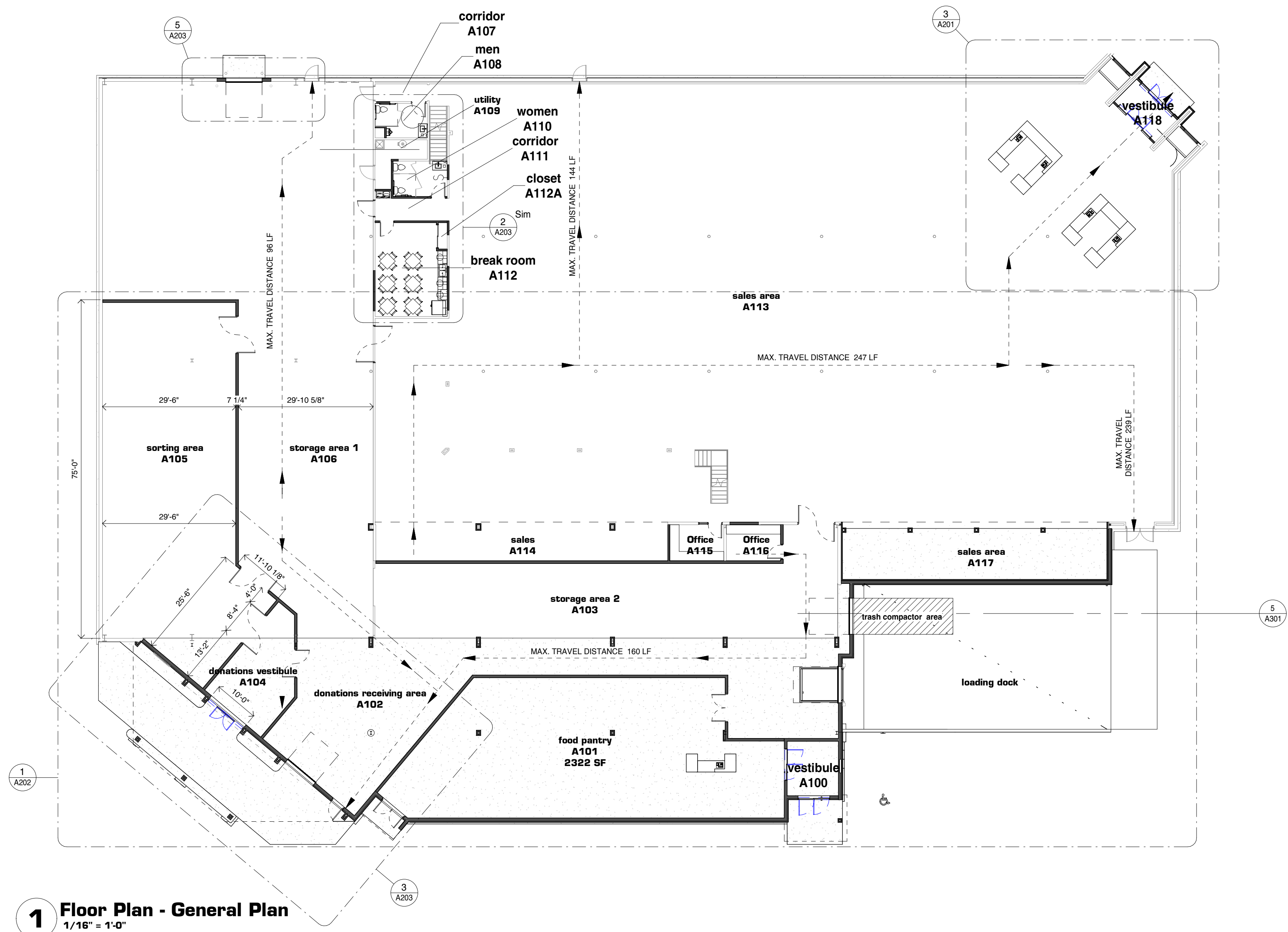
3 3D View - NE (Existing)

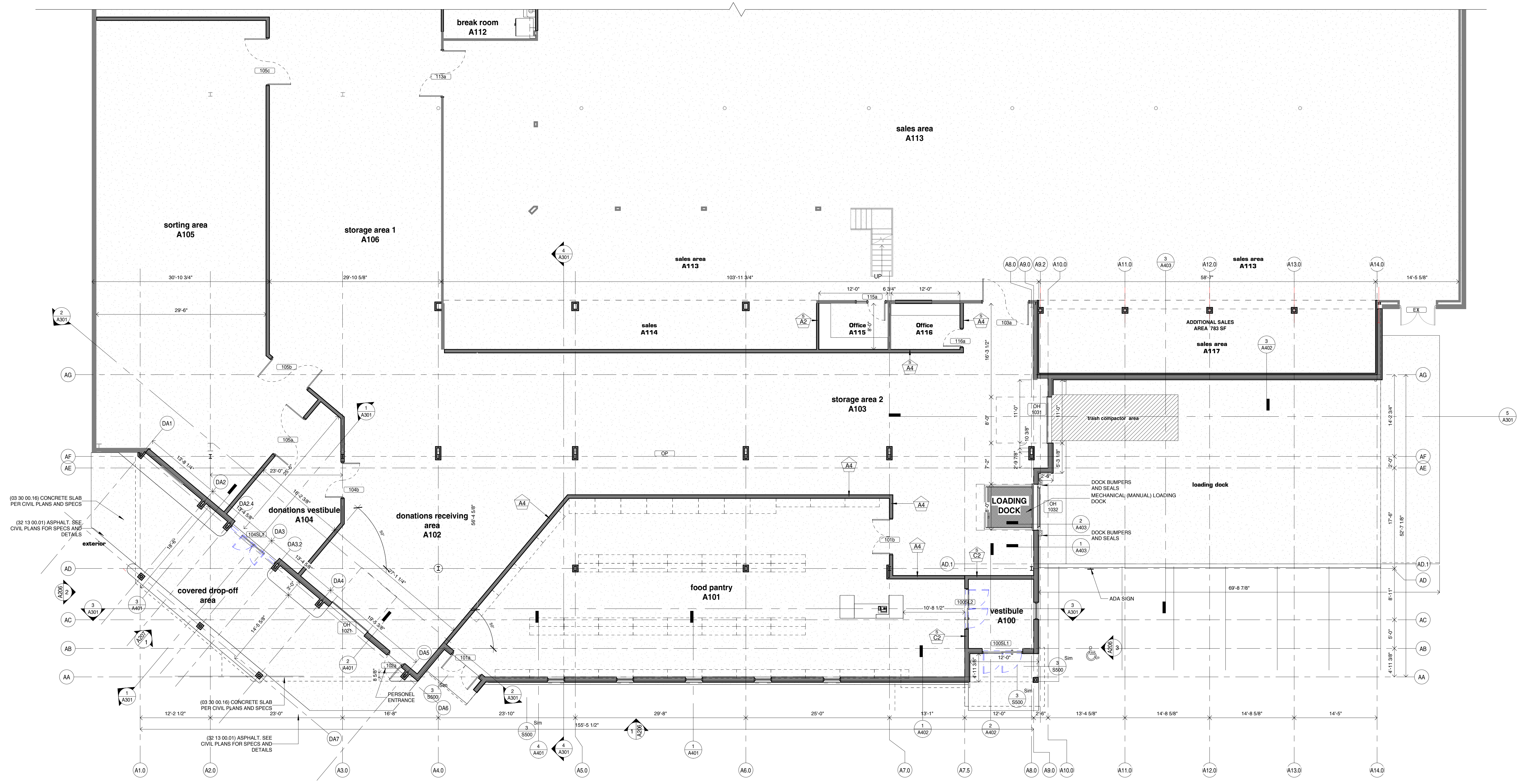


2 Existing - Level 2
1/16" = 1'-0"



1 Existing - Level 1
1/16" = 1'-0"

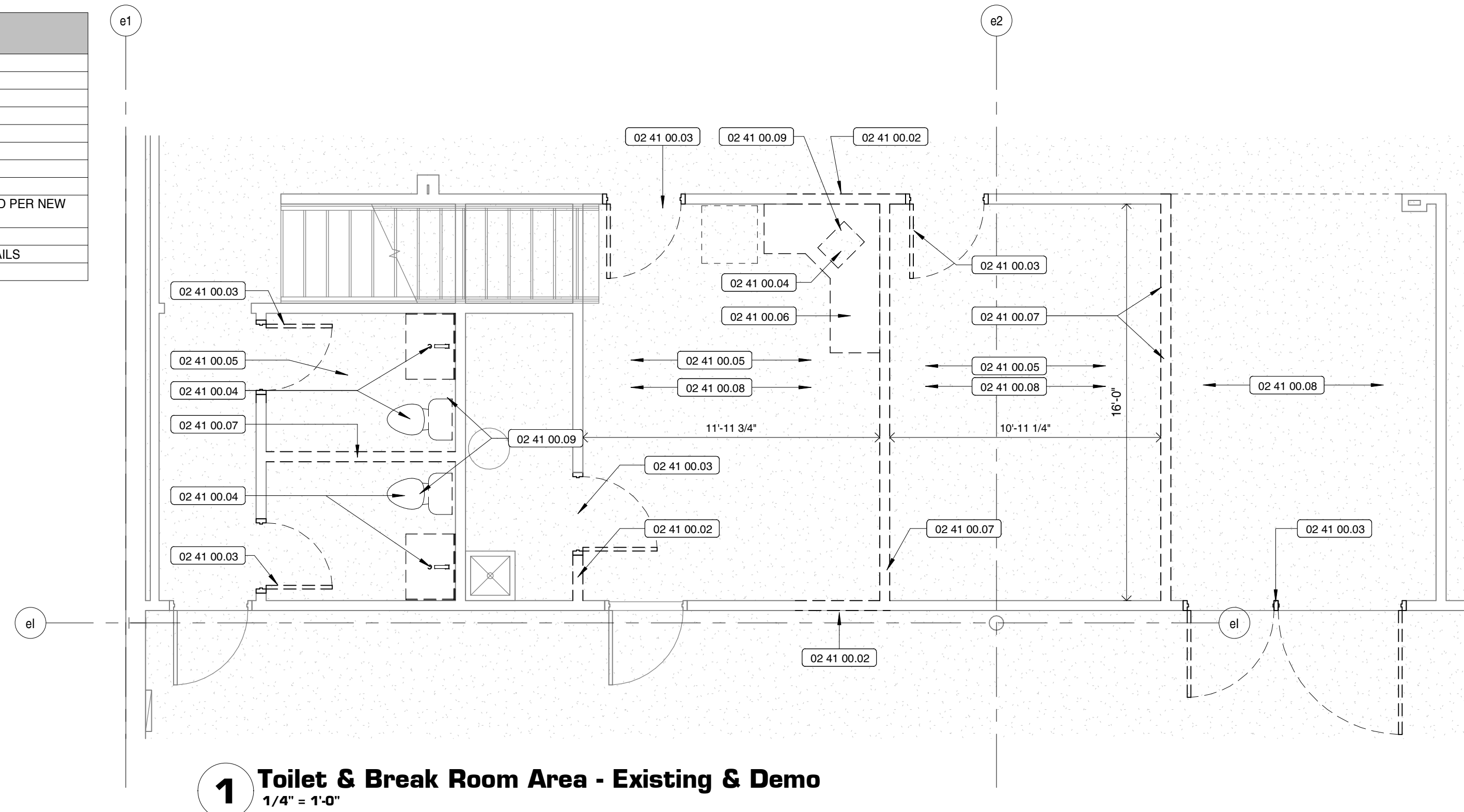




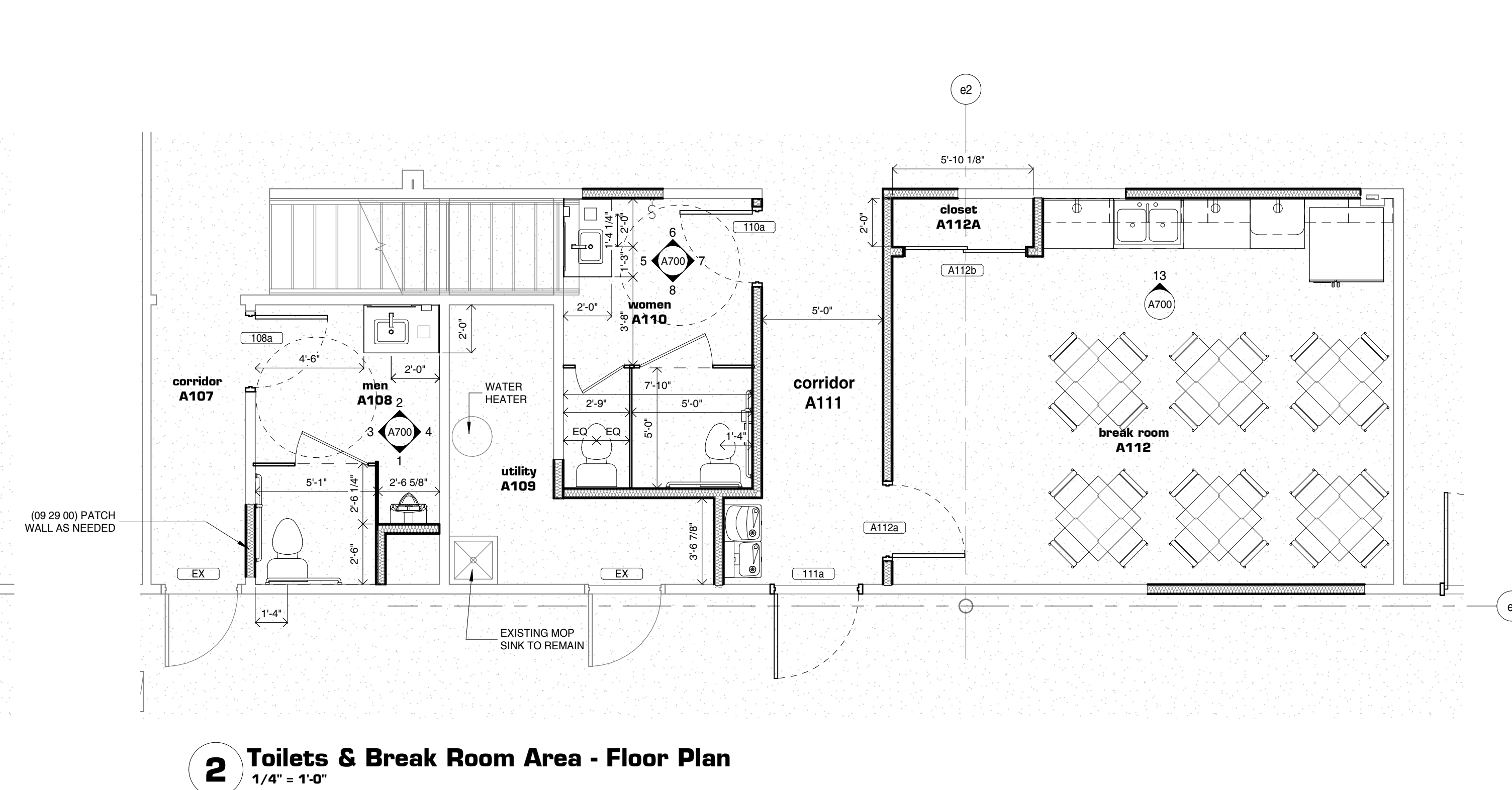
1 Addition - Enlarged Floor Plan
1/8" = 1'-0"

KEYNOTE LEGEND

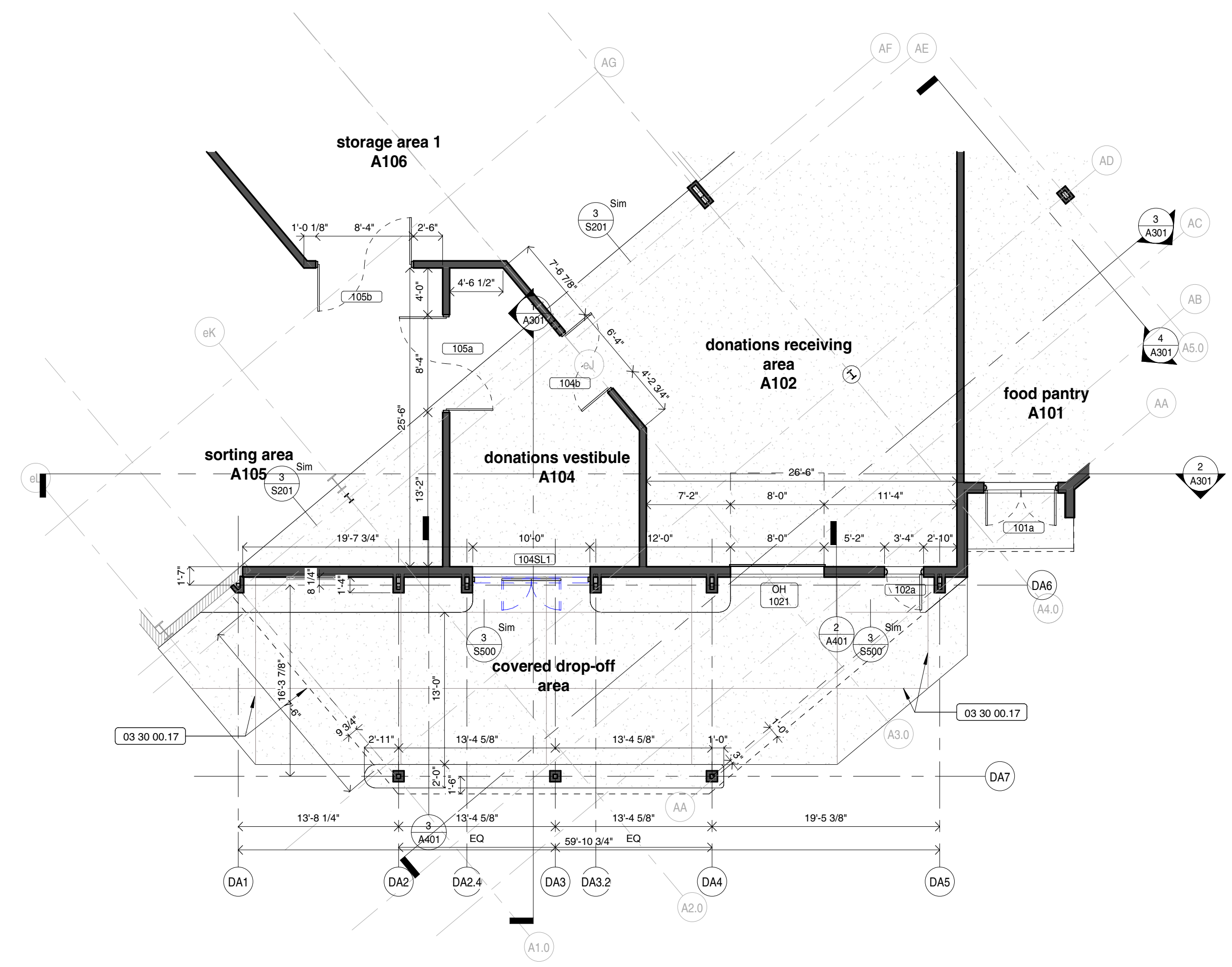
Keynote Legend	
02 41 00.02	DEMO WALL SECTION
02 41 00.03	DEMO DOOR AND DOOR FRAME
02 41 00.04	DEMO PLUMBING FIXTURES
02 41 00.05	DEMO FLOORING
02 41 00.06	DEMO EXISTING WALL CABINETS AND COUNTERS
02 41 00.07	DEMO WALL
02 41 00.08	DEMO EXISTING CEILING GRID AND CEILING TILE
02 41 00.09	DEMO ALL ABANDONED PIPES. RELOCATE AS NEEDED PER NEW LAYOUT
03 30 00.17	TYP. CONTROL JOINTS
05 12 00.06	STEEL BOLARD W/PLASTIC YELLOW COVER PER DETAILS
08 30 00.A1	OVERHEAD SECTIONAL DOOR, SEE SPECIFICATIONS



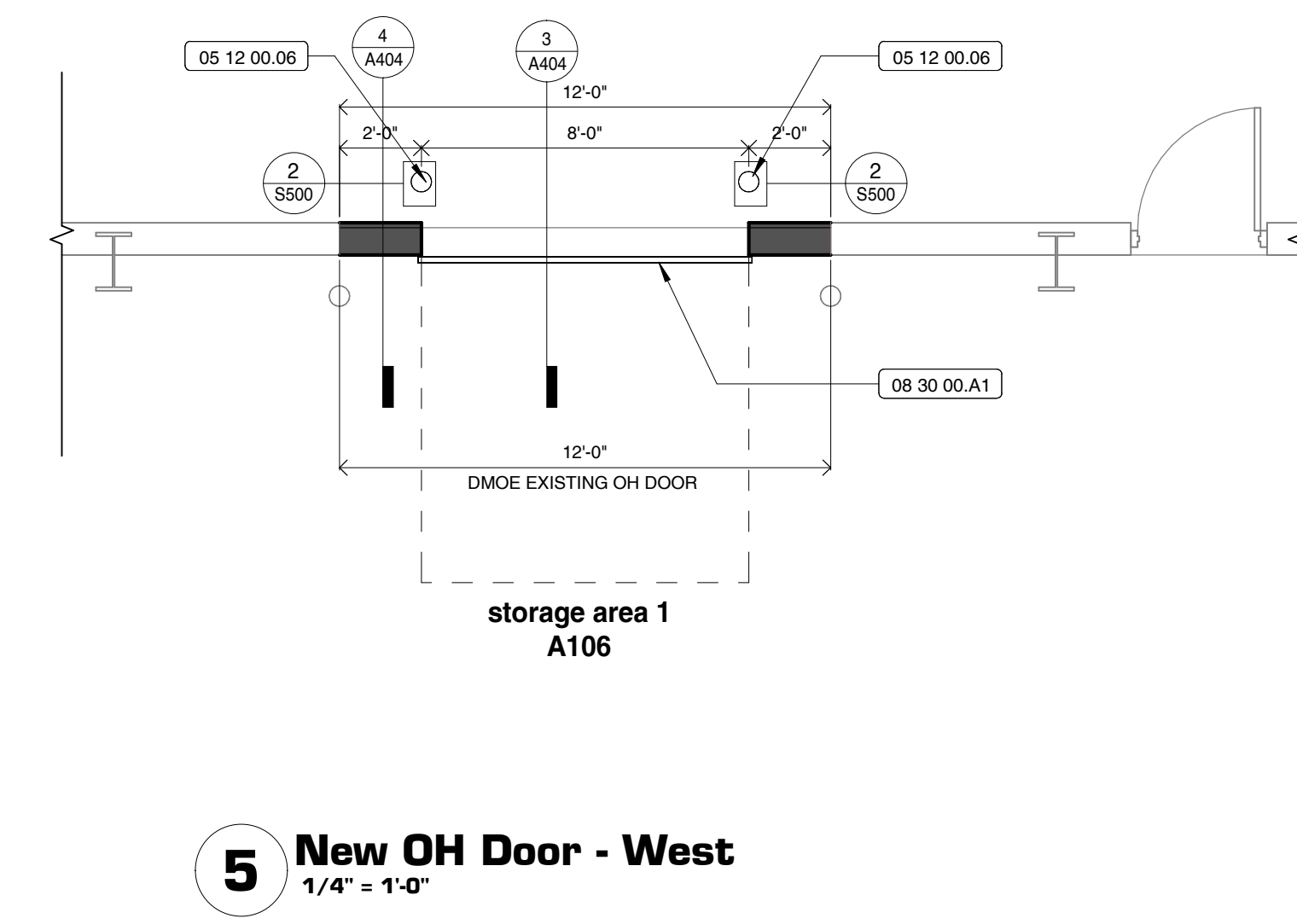
1 Toilet & Break Room Area - Existing & Demo
1/4" = 1'-0"



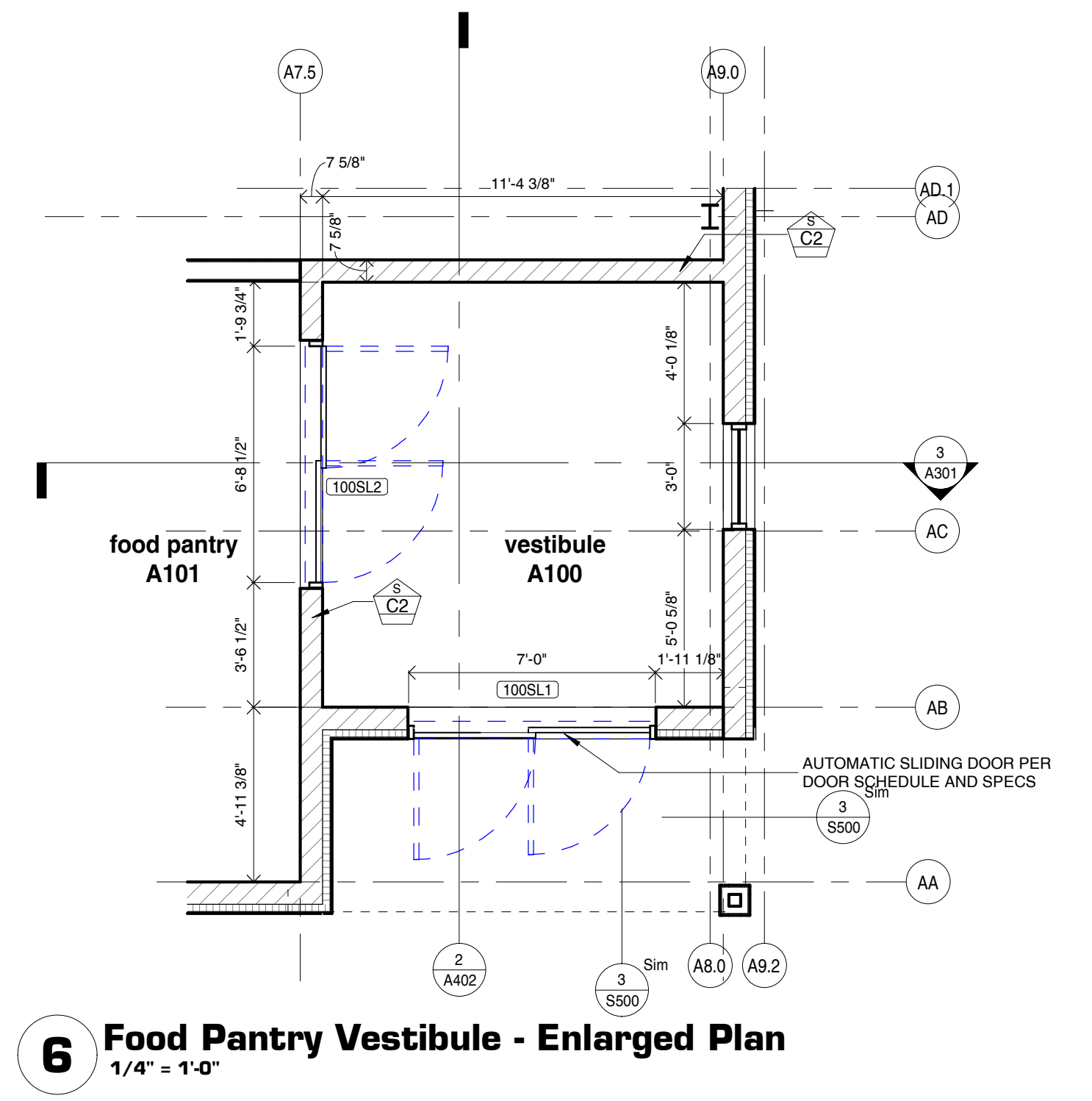
2 Toilets & Break Room Area - Floor Plan
1/4" = 1'-0"



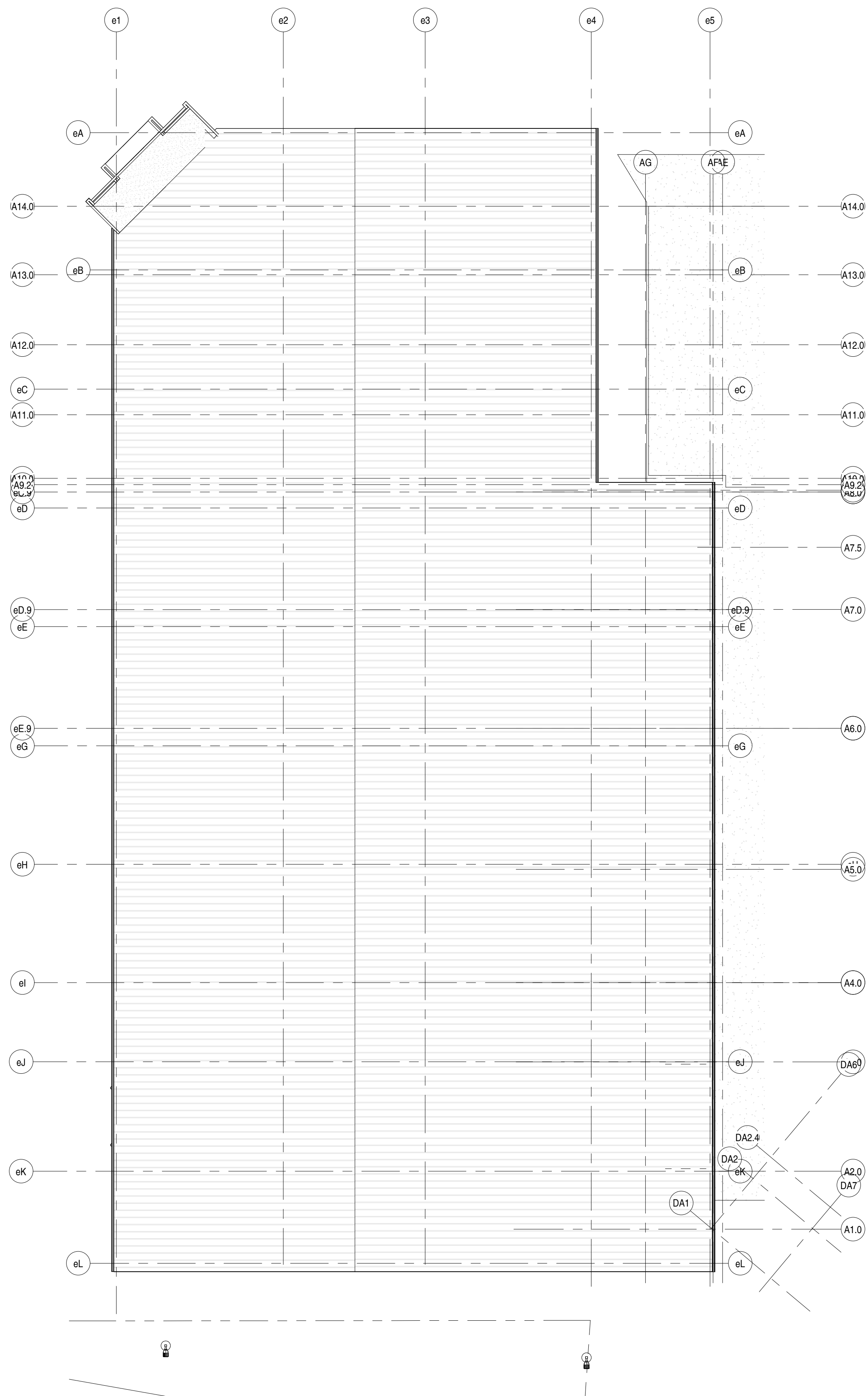
3 Floor Plan - Enlarged Drop-off Area
1/8" = 1'-0"



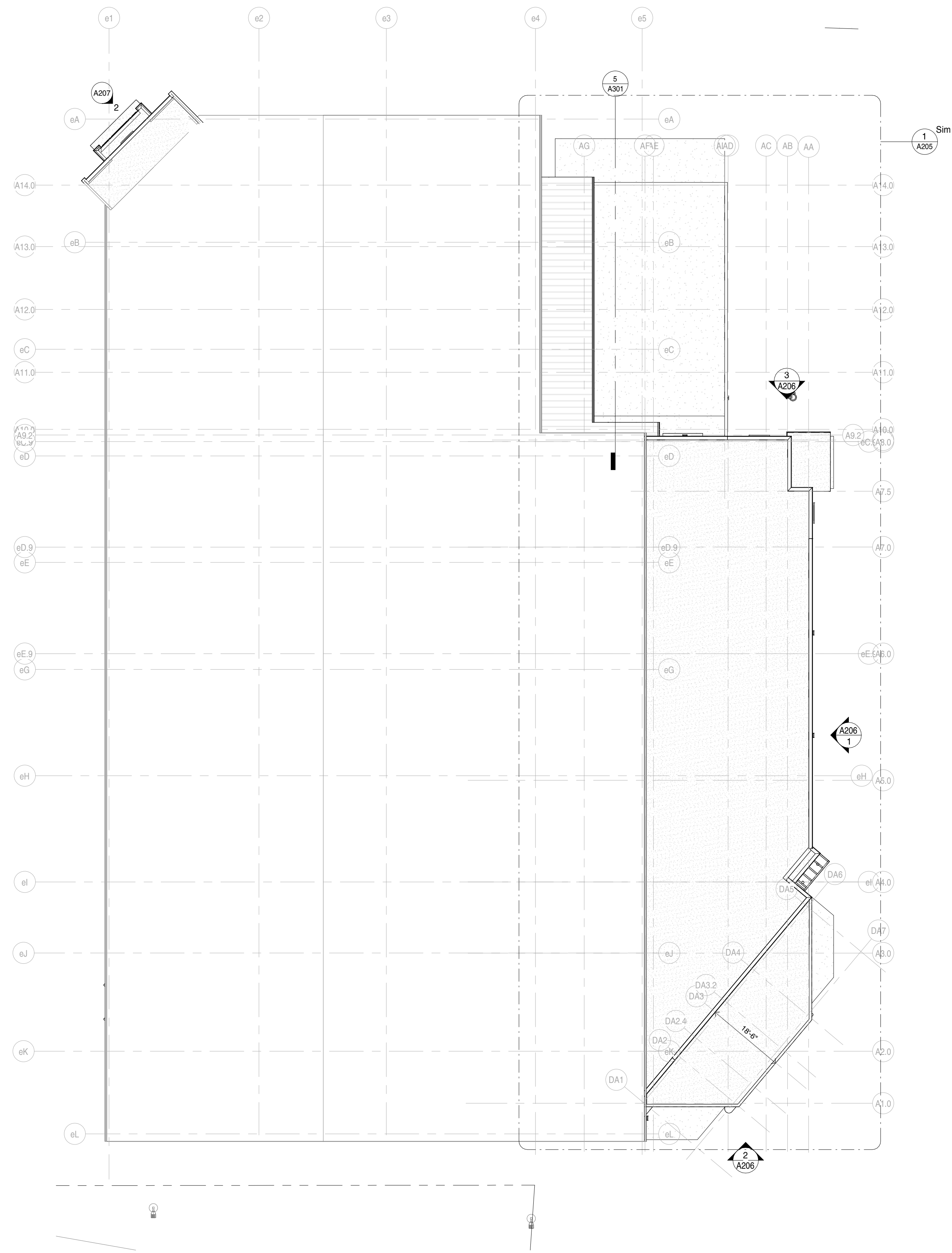
5 New OH Door - West
1/4" = 1'-0"



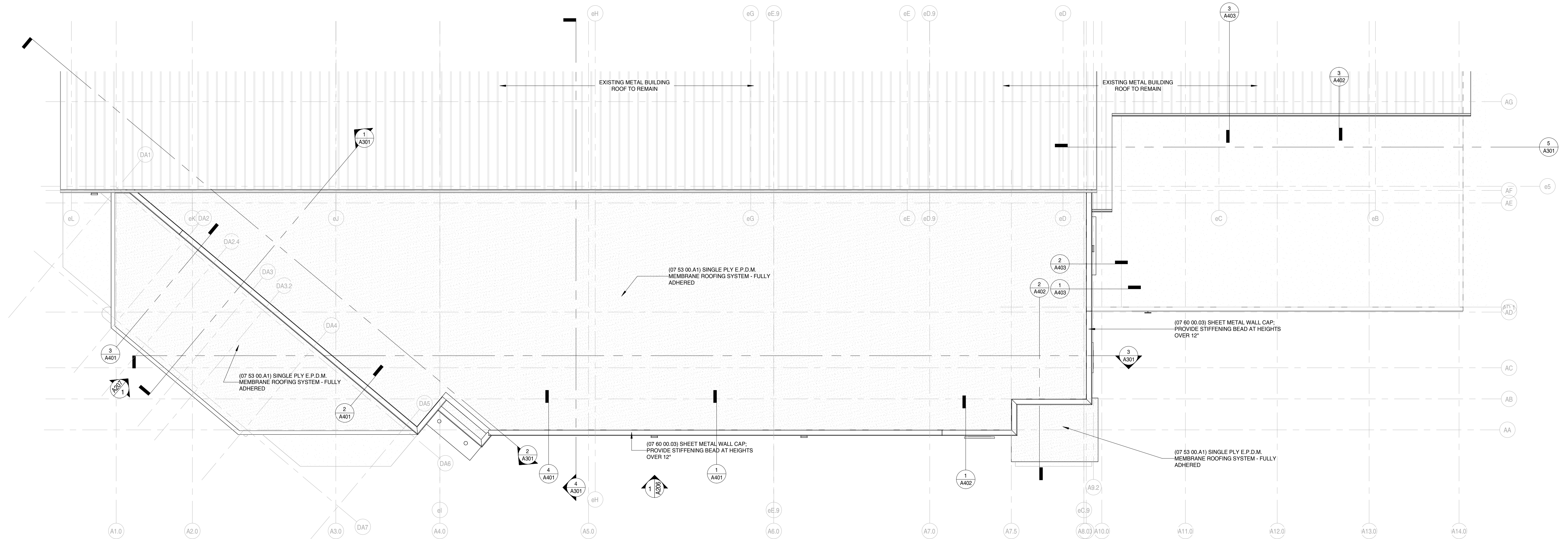
6 Food Pantry Vestibule - Enlarged Plan
1/4" = 1'-0"



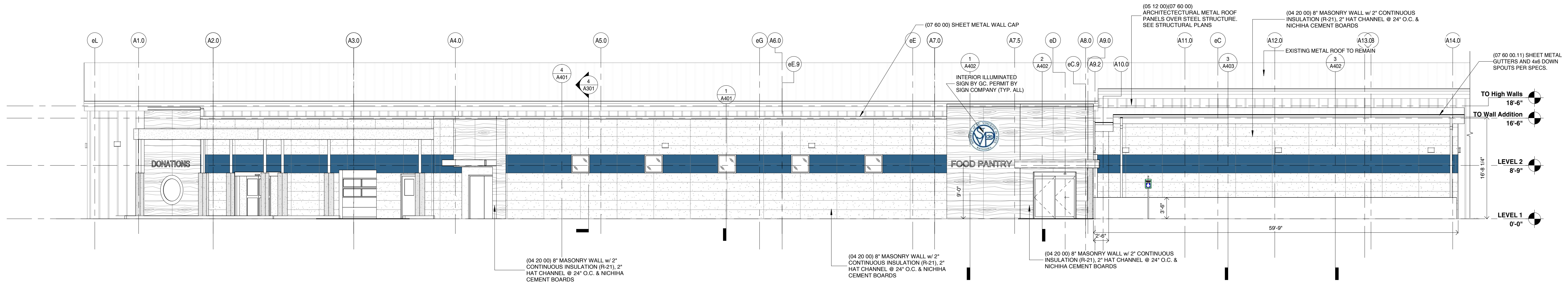
1 Roof Plan - Existing
1/16" = 1'-0"



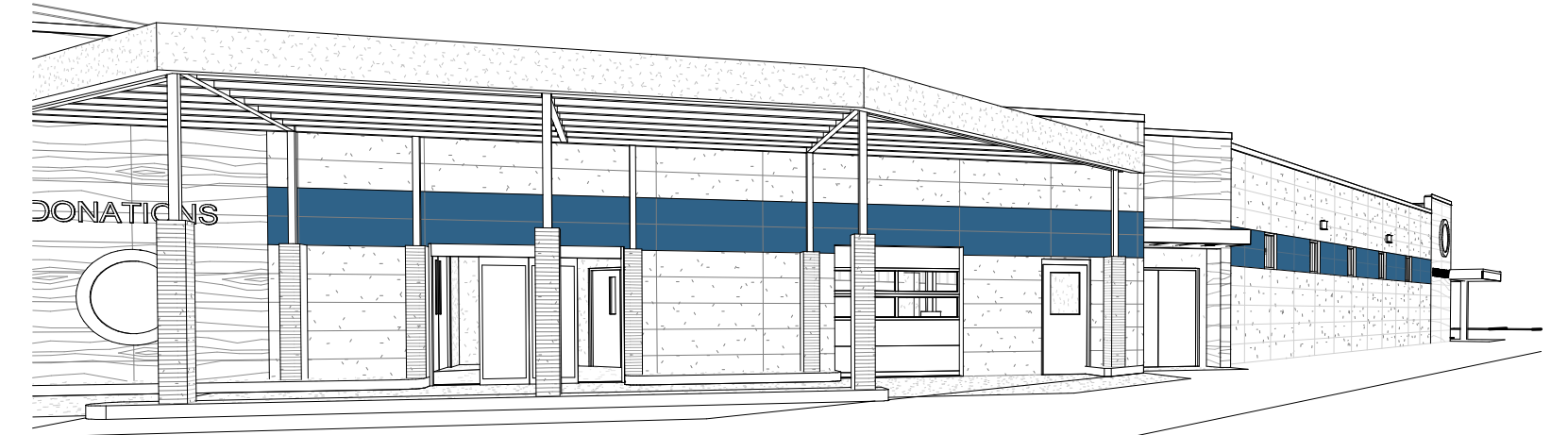
2 Roof Plan - General
1/16" = 1'-0"



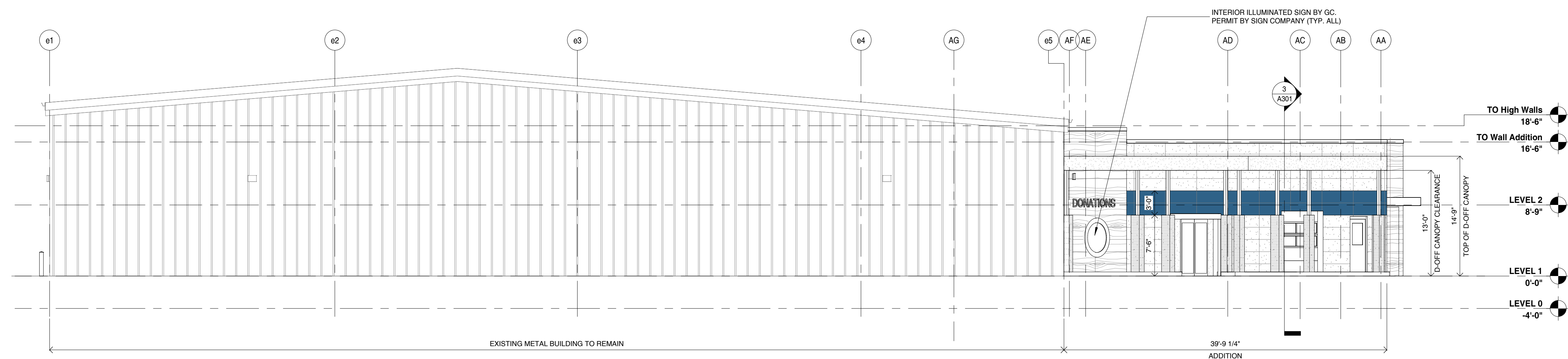
1 Roof Plan - Enlarged Addition Area
1/8" = 1'-0"



1 Exterior Elevation - East
1/8" = 1'-0"



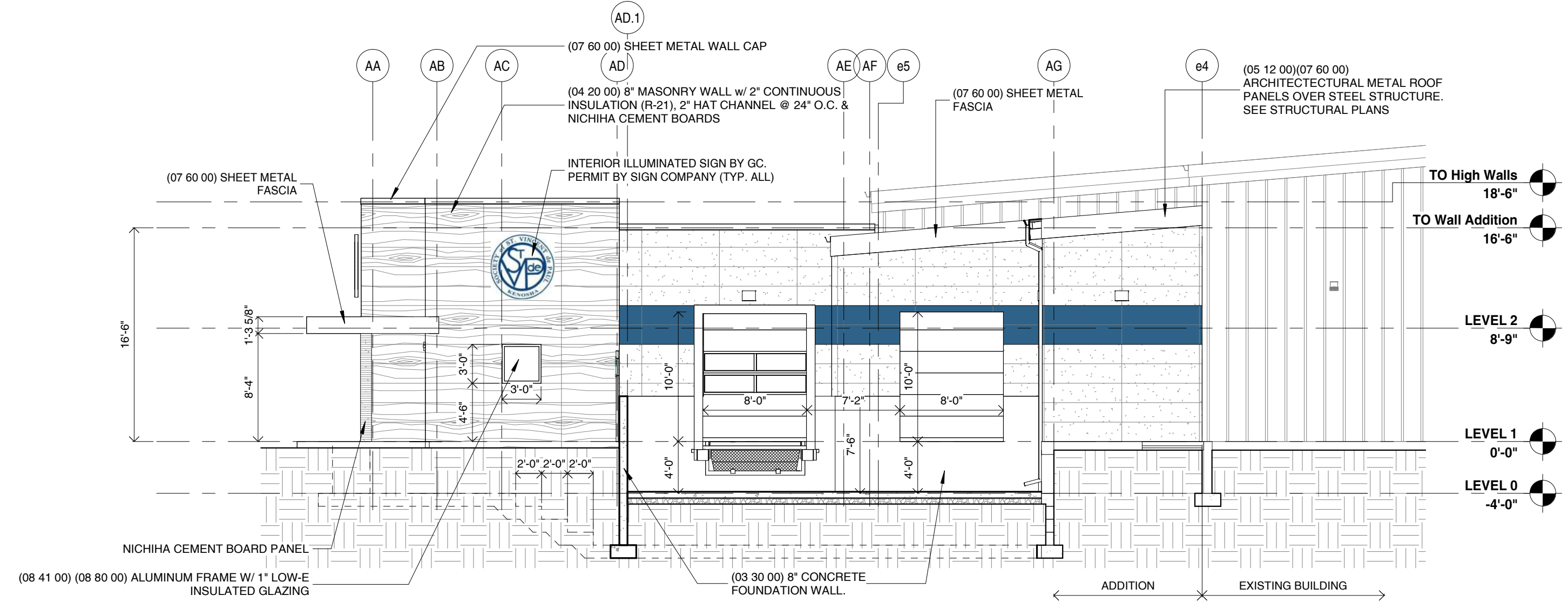
4 3D View - SE Donations Area



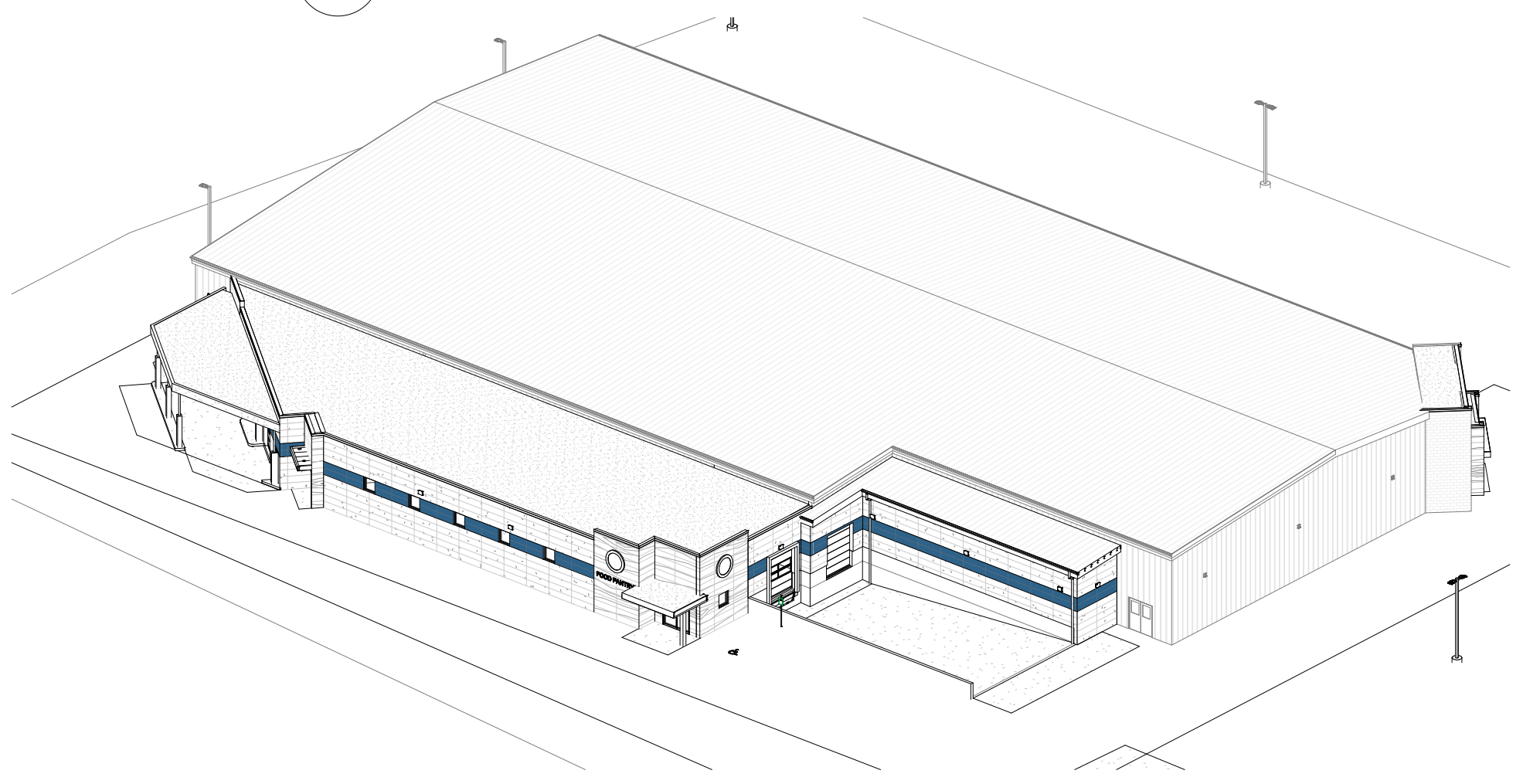
2 Exterior Elevation - South
1/8" = 1'-0"



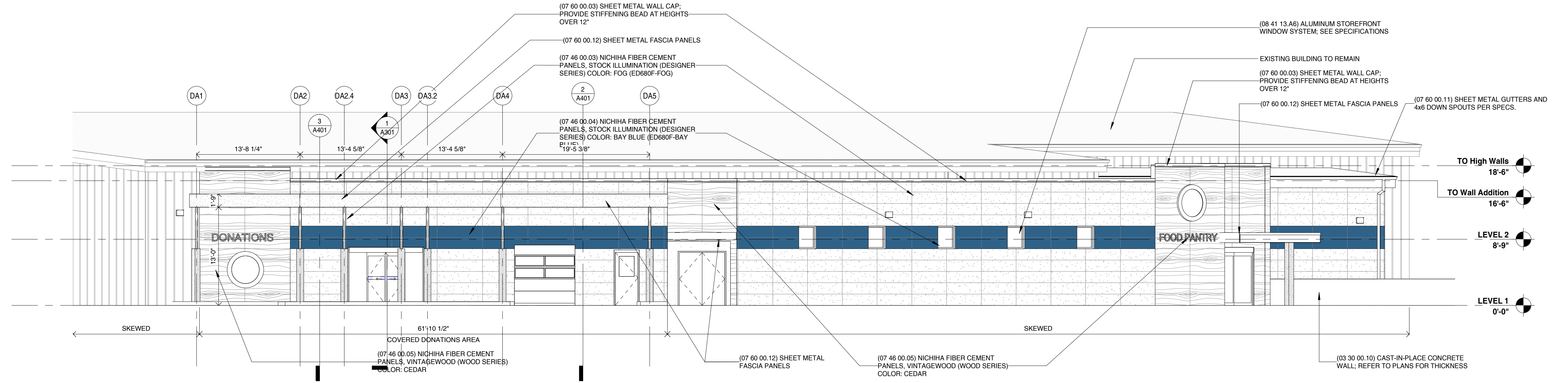
5 3D View - NE Entrance



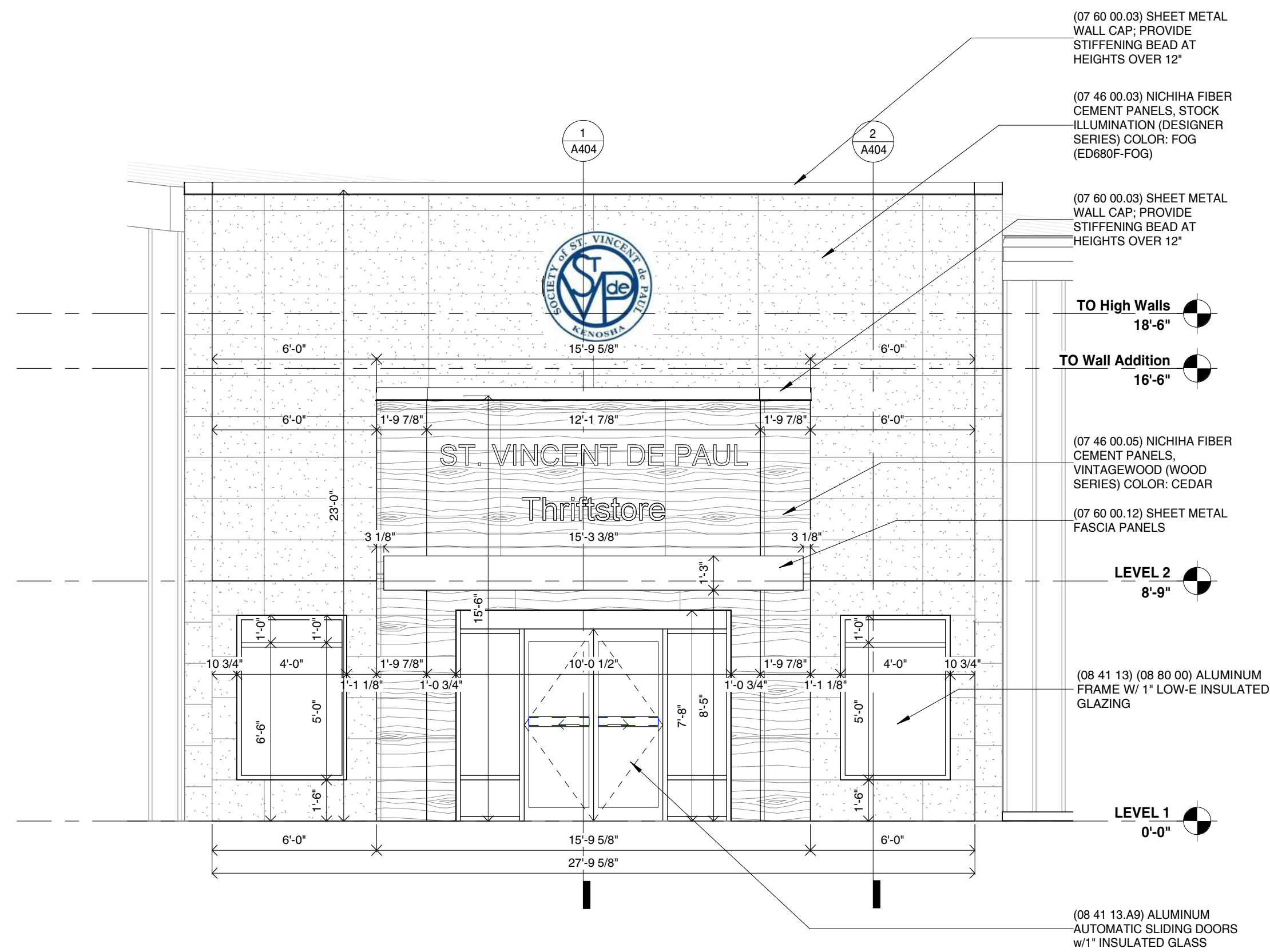
3 Exterior Elevation - North
1/8" = 1'-0"




6 3D View - NE



1 Exterior Elevation - SW Covered Donations
1/8" = 1'-0"



2 Main Entrance Elevation
1/4" = 1'-0"



STOCK ILLUMINATION*

WARM WHITE ED680F-WARM WHITE	COTTON ED680F-COTTON	FOG ED680F-FOG	NICKEL ED680F-NICKEL	GRAPHITE ED680F-GRAPHITE
RAY BLUE ED680F-RAY BLUE	LAVA ED680F-LAVA	SCARLET ED680F-SCARLET	RUSSET ED680F-RUSSET	RAVEN ED680F-RAVEN

STOCK ILLUMINATION SPECS

DIMENSIONS (ACTUAL MM)	17-7/8" H x 71-9/16" L (455MM H x 181BMM L)
THICKNESS (ACTUAL MM)	5/8" (16MM)

AWP 1818

Long-lasting color with shorter lead times.

Our homogeneous architectural wall panels add dimension and visual interest to any project. But the 10-week lead time can sometimes be a deterrent. To better serve our customers we introduced a Stock Illumination program, which offers a selection of our most popular colors with the standard 30-day lead time. All our standard illumination products include matching trim pieces to add the finishing touches to your project.

*Create a similar look using Wood Illumination

OPTION 1

STOCK ILLUMINATION*

WARM WHITE ED680F-WARM WHITE	COTTON ED680F-COTTON	FOG ED680F-FOG	NICKEL ED680F-NICKEL	GRAPHITE ED680F-GRAPHITE
RAY BLUE ED680F-RAY BLUE	LAVA ED680F-LAVA	SCARLET ED680F-SCARLET	RUSSET ED680F-RUSSET	RAVEN ED680F-RAVEN

STOCK ILLUMINATION SPECS

DIMENSIONS (ACTUAL MM)	17-7/8" H x 71-9/16" L (455MM H x 181BMM L)
THICKNESS (ACTUAL MM)	5/8" (16MM)


AWP 1818

RIBBED
DIMENSION SERIES

- Add depth and color to your designs
- Sleek recessed reveals and striking shadow lines
- Custom color available with Color Xpressions
- Engineered with a built-in rainscreen

AVAILABLE COLORS

Indigo



THE WOOD SERIES

Get the natural look of wood with unmatched durability.

With 11 varieties of style and color, the Wood Series is our largest and most popular product line. Built to last, our Vintagewood™, RoughSawn™, RiftSawn™ and Napa panels offer the rich textures of wood while providing color stability and enduring extreme weather exposure.

Vintagewood™ provides modern refinement and works well in both modern and vintage designs. Available in five colors — Bark, Cedar, Redwood, Ash and Spruce — Vintagewood continues to be a best seller in the hospitality and healthcare markets. It pairs perfectly with glass, metal and brick panels, adding a touch of warmth to the coolness of these materials. And because Vintagewood can be installed vertically or horizontally, it offers a wide range of design options.

VINTAGEWOOD SPECS

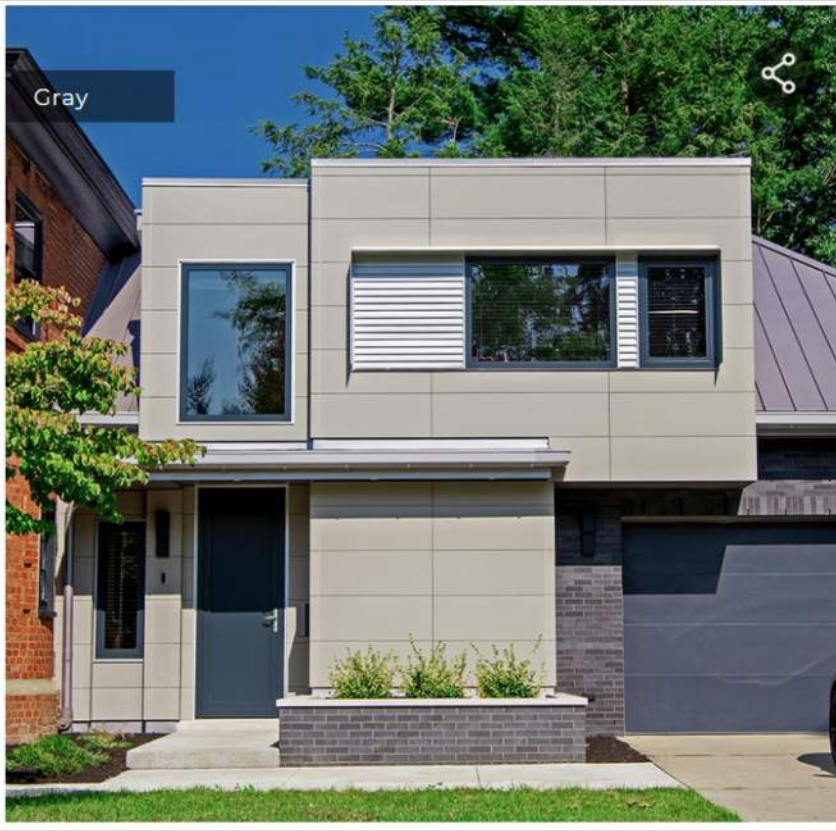
DIMENSIONS (ACTUAL MM)	13-1/8" H x 71-9/16" L (338MM H x 181BMM L)	13-1/8" H x 118-1/8" L (338MM H x 300MM L)
THICKNESS (ACTUAL MM)	5/8" (16MM)	5/8" (16MM)
WEIGHT (LBS. PER PANEL)	36.2	37.2
WEIGHT (KG. PER PANEL)	16.4	16.9
SPACING (CENTER TO CENTER)	16-1/8" (416MM)	16-1/8" (416MM)
SPACING (CENTER TO CENTER)	16-1/8" (416MM)	16-1/8" (416MM)
PACKAGING (PIECES PER PALLET)	2,112 (50.00 Pallet)	2,112 (50.00 Pallet)

ARCHITECTURALBLOCK
MODERN SERIES

- Modern block design that's perfect for commercial or residential designs
- Durable finish that pairs effortlessly with stainless steel, glass and wood finishes
- Engineered with an integrated rainscreen

AVAILABLE COLORS

Gray



OPTION 2

AWP 1818

NICHINA
the power of possibilities™


PRODUCTS APPLICATIONS RESOURCES PRICING ABOUT US

RIFTSAWN
WOOD SERIES

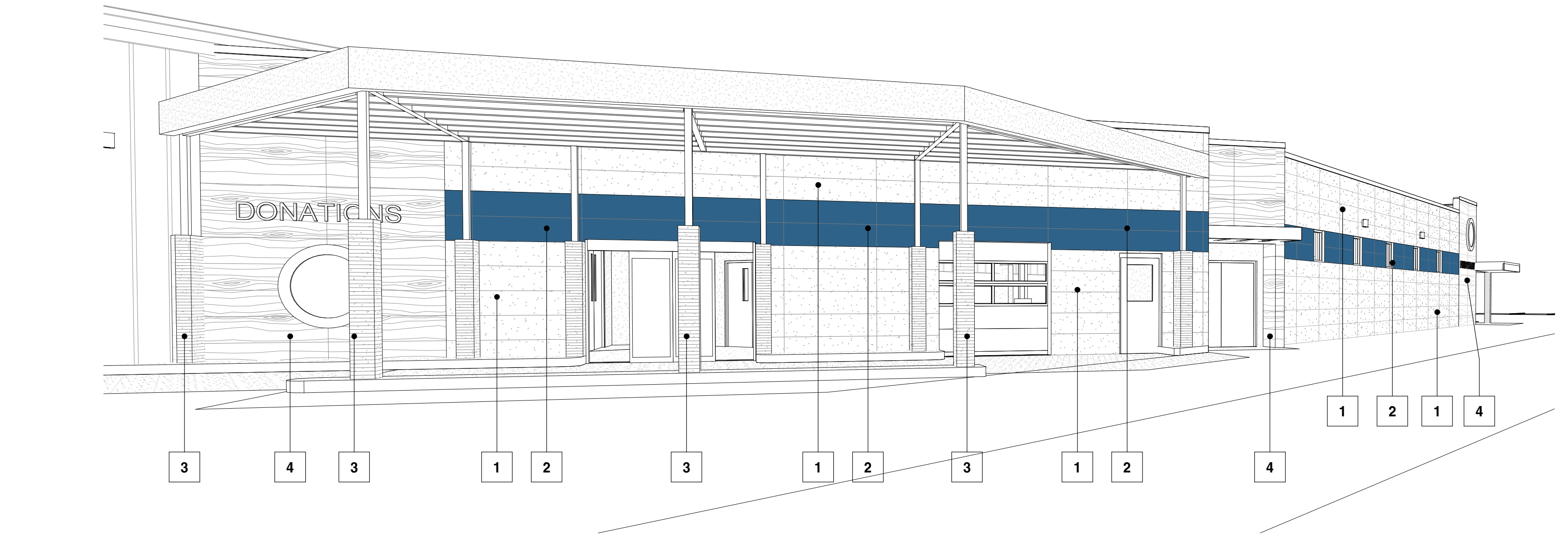
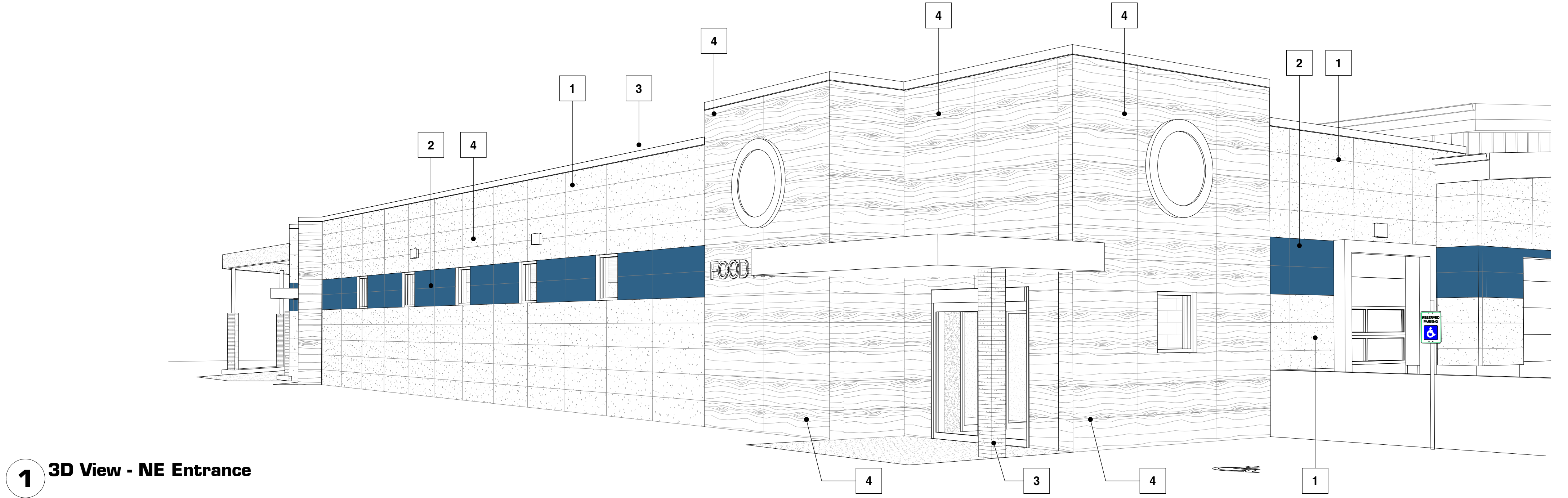
- Full panel showcases the ridges and unique textures of wood. Watch the RiftSawn product video.
- Darker edge creates the look of a reveal
- Appearance of an open joint system with the performance of a closed joint system
- Matching corners available
- Compare our wood panel products

AVAILABLE COLORS

Pecan



OPTION 2





CITY PLAN COMMISSION
Staff Report – Item #3

Thursday, April 18, 2024 at 5:00 pm
Municipal Building
625 52nd Street – Room 202 – Kenosha, WI 53140

Conditional Use Permit for a facade renovation at the Southport Plaza Unified Business Center located at 6932 Green Bay Road. (Skechers – Final Hearing) (District 16) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Ruffalo, District 16, has been notified. The City Plan Commission is the final review authority.

LOCATION AND ANALYSIS:

Site: 6932 Green Bay Road

1. This item was heard by the City Plan Commission on March 21, 2024, and the Conditions of approval were established at that meeting.
2. The applicant is proposing to make a facade renovation at a proposed tenant space for Skechers. Since the site is a part of a Unified Business Center, the City Plan Commission is the designated review authority.
3. The proposal is to build a larger sign parapet in front of the tenant space, generally located between the Roomplace Furniture and Petco. The proposed material on the sign face area is Exterior Insulated Finish System (EIFS).
4. There are no open or pending building or zoning violations on the property.
5. The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.
6. The plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
7. A Class II Notice has been published. The formal public hearing can be held and the review authority can take final action on the Conditional Use Permit at this meeting.

RECOMMENDATION:

A recommendation is made to approve the Conditional Use Permit, subject to the attached Conditions of Approval.

Brian Wilke, AICP, Development Coordinator

Rich Schroeder, Deputy Director

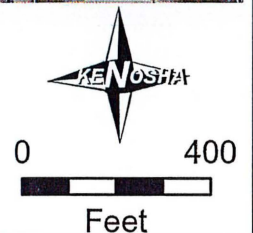
1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of City Inspections. This includes, but is not limited to Building and Occupancy permits.
 - b. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
 - c. The development shall be constructed per the approved plans on file with the Department of City Development, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of City Development for review and approval. Minor changes may be approved by the City Plan Division.
 - d. Prior to the issuance of any Occupancy permits, the building exterior shall be completed per the approved plans and the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. All other improvements indicated on the plans shall be installed prior to the issuance of a final Occupancy permit. The recording fees for the Conditional Use Permit shall be submitted by the applicant.
 - e. Compliance with City and State and/or Federal Codes and Ordinances. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - f. All roof top mechanicals shall be properly screened per Section 14.07 B.10 of the Zoning Ordinance.
 - g. All trash containers shall be stored within the enclosure or building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - h. The applicant shall meet all applicable Conditions of Approval and obtain a construction permit within twelve (12) months of City Plan Commission approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - i. Outdoor display of products is prohibited.
 - j. All vehicles shall be parked within designated paved areas.
 - k. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - l. The General Contractor shall keep the active construction site secured at all times. The General Contractor shall maintain a list of all sub contractors working on the active site and their respective trades and make that list available to the City upon request. The General Contractor shall provide any necessary safety training to all sub contractors on the active construction site and maintain and update the list as it changes.

2. The following Conditions of Approval shall be satisfied with City Staff prior to the issuance of any construction permits:
 - a. Prior to the issuance of any permits, the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. The recording fee for the Conditional Use Permit shall be submitted by the applicant.

Vicinity Map
Skechers facade renovation
Conditional Use Permit



 Subject Property





P: 262-653-4030
E: idtcd1@kenosha.org

625 52nd Street, Kenosha, WI 53140
www.kenosha.org

Project Overview

#1256336

Project Title: Skechers Facade Renovation - Southport Plaza

Jurisdiction: City of Kenosha

Application Type: Electronic Review

State: WI

Workflow: Express Workflow

County: Kenosha

Contact Information

Project Contact - Agent/Representative

RG Keller
Keller Architectural Design LLC
W237S5585 Maple Hill Dr
Waukesha, WI 53189
P:414-254-8780
rgkeller@ymail.com

Please indicate which of the following contacts are included in this project.: Architect

Property Owner

Lisa Fare
B2ACCACRP Kenosha LLC
PO Box 811240
Boca Raton, FL 33481
P:248-848-3527
lisa.fare@freg.com

Architect

RG Keller
Keller Architectural Design LLC
W237S5585 Maple Hill Dr
Waukesha, WI 53189
P:414-254-8780
rgkeller@ymail.com

Project Information

Project Address: 6932 GREEN BAY ROAD

Project Type: Concept Review

Project Description:
Facade change

Project Valuation: \$100,000.00

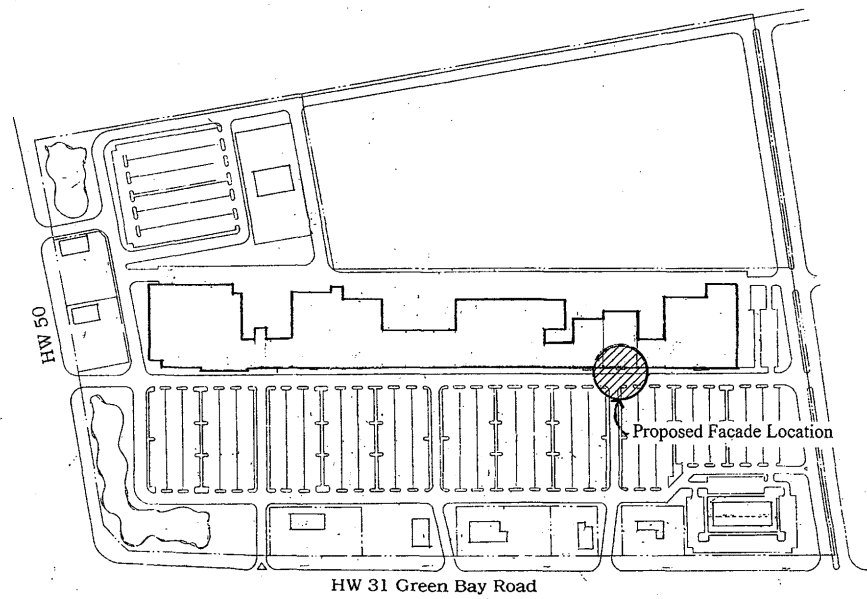
Is the property subject to any easements, covenants, or other restrictions?: I don't know

Please indicate the restrictions that apply.:

Proposed Use: Mercantile

Total Square Footage of Project: 624

Project Acreage: 71.48

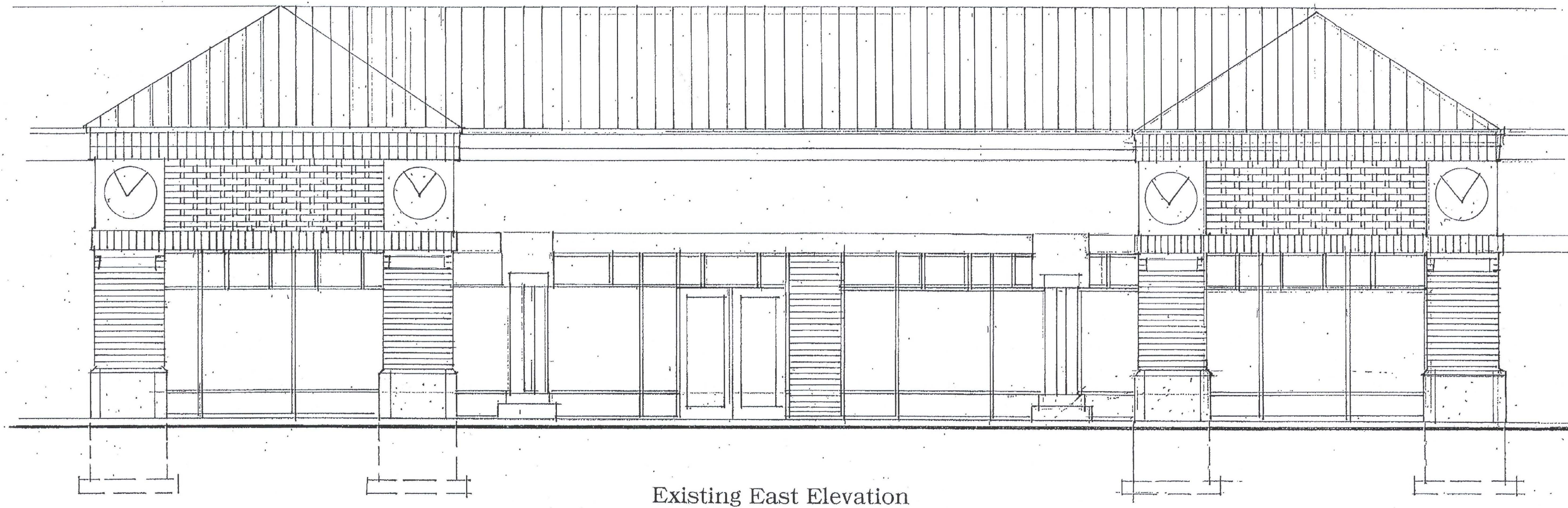


Site Plan



Skechers/Southport Plaza





Existing East Elevation

1/4"

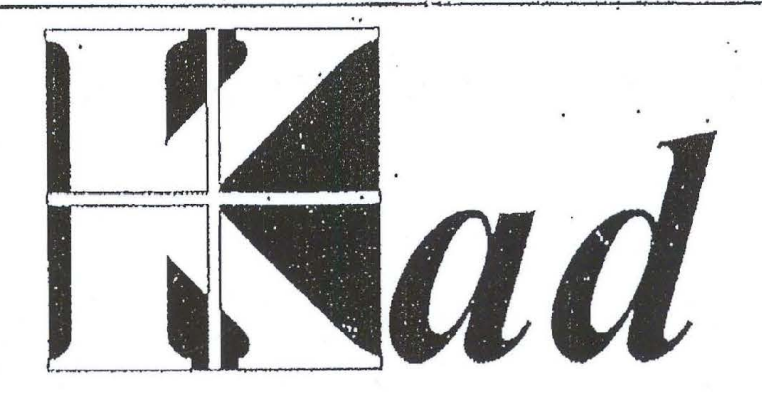


Proposed East Elevation

1/4"

- EFIS facade/cornice
- Existing storefront
- Existing Masonry Columns

Skechers/Southport Plaza





CITY PLAN COMMISSION
Staff Report – Item #4

Thursday, April 18, 2024 at 5:00 pm
Municipal Building
625 52nd Street – Room 202 – Kenosha, WI 53140

Conditional Use Permit for a 158-unit multi-family apartment building located at 56th Street and 7th Avenue. (Kenosha Harbor District Block I – Initial Hearing) (District 2) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Siel, District 2, has been notified. The City Plan Commission is the final review authority.

LOCATION AND ANALYSIS:

Site: Northwest corner of 56th Street and 7th Avenue (final address assignment pending)

1. The developers of the Kenosha Harbor District project have submitted plans for their first block of construction. This building and site was reviewed by the City Plan Commission as a concept at their March 7, 2024 meeting along with the rezoning petition request. The rezoning of this block to *B-5 Downtown Mixed Use District* was approved by the Common Council on April 1, 2024.
2. The proposal is substantially similar to what was reviewed at the Rezoning hearing. The building will be five stories tall with 158 apartment units. Floor one and one floor below grade will have indoor parking for residents. The project would provide 1.3 parking spaces per unit which meets the minimum requirements of the Zoning Ordinance. Floors one through five will all have living units. The unit breakdown is eighteen (18) studio units, eighty-six (86) one-bedroom units, forty-eight (48) two-bedroom units and six (6) three-bedroom units. Indoor/Outdoor community room space and amenities available to all residents of the building are shown on floors one, two and five. The project density is 117 units/acre.
3. The proposed building materials are precast panels, fiber cement panels, fiber cement siding and brick.
4. A Developer's Agreement will be required based on a public sanitary sewer that must be relocated from under the proposed building pad to the 7th Avenue right of way.
5. There are no current or pending building or zoning code violations on the property.
6. The plans generally comply with Sections 4 and 14 of the Zoning Ordinance.
7. The plans were sent to City Departments for their review. Their comments are included in the attached Conditions of Approval.
8. Per the Wisconsin State Statutes, the Conditions of Approval shall be established at this meeting. After a Class II Notice is published, the formal public hearing will be held and the review authority can take final action on the Conditional Use Permit at that meeting.

RECOMMENDATION:

A recommendation is made for the City Plan Commission to establish the Conditions of Approval and schedule a public hearing after publication of a Class II Notice.

Brian Wilke, AICP, Development Coordinator

Rich Schroeder, Deputy Director



Conditions of Approval
KENOSHA HARBOR DISTRICT BLOCK I
56TH STREET AND 7TH AVENUE
APRIL 18, 2024

1. The following Conditions of Approval will run with the land and shall be included in a document recorded with the Kenosha County Register of Deeds:
 - a. The applicant shall obtain all required construction permits from the Department of City Inspections. This includes, but is not limited to Raze, Erosion Control, Building, Plumbing, Electrical and Occupancy permits.
 - b. The applicant shall obtain Driveway Approach, Sidewalk, Paved Lawn Park, Public Right-of-Way Excavation, Stormwater Management and Parking Lot permits from the Department of Public Works.
 - c. All signs shall comply with Chapter 15 of the Code of General Ordinances and the applicant shall obtain sign permits for all new signs. A separate submission and permits are required for all signs. Sign information provided under the Conditional Use Permit is for reference only and does not constitute sign permit approval.
 - d. The development shall be constructed per the approved plans on file with the Department of City Development, Room 308, 625 52nd Street, Kenosha, WI 53140. Any changes to the approved plans shall require an amendment to the Conditional Use Permit. All changes shall be submitted to the Department of City Development for review and approval. Minor changes may be approved by the City Plan Division.
 - e. Prior to the issuance of any Occupancy permits, all parking areas, drives and designated paved areas shall have the initial lift of asphalt installed. The building exterior shall be completed per the approved plans, the exterior lighting shall be installed. All improvements indicated on the plans, including landscaping, shall be installed prior to the issuance of a final Occupancy permit.
 - f. Compliance with City and State and/or Federal Codes and Ordinances and the recorded Developer's Agreement. The buildings shall comply with the current Code standards in effect upon application for a building permit.
 - g. All trash containers shall be stored within the building. The applicant/owner shall be responsible for waste collection and removal for the development. The City of Kenosha shall not provide waste collection or removal services or incur any cost in this regard.
 - h. The applicant shall meet all applicable Conditions of Approval and obtain a construction permit within twelve (12) months of City Plan Commission approval of the Conditional Use Permit or the Conditional Use Permit shall be null and void.
 - i. All vehicles shall be parked within designated paved areas.
 - j. All improvements, including landscaping, shall be maintained per the approved plans. Any damaged fencing, landscaping or building shall be replaced or reconstructed per the approved plans.
 - k. Prior to final Occupancy of the building, the applicant shall provide an electronic copy of the following information to the Fire Prevention Bureau:
 - i. Site Plan as-built
 - ii. Floor Plan as-built

- iii. Site Utilities
- iv. Sprinkler Plans
- v. Fire Alarm Plans

- I. The General Contractor shall keep the active construction site secured at all times. The General Contractor shall maintain a list of all sub contractors working on the active site and their respective trades and make that list available to the City upon request. The General Contractor shall provide any necessary safety training to all sub contractors on the active construction site and maintain and update the list as it changes.
 - m. The Assessor's Office will require actual costs on the project to be submitted prior to their office signing off on the final occupancy permit(s). The costs supplied should include: all improvement costs to the raw land (retention, site elevation work, site ingress/egress work, etc.), all materials and labor associated with construction of the building, all materials and labor associated with site improvements (asphalt/concrete work, site lighting, site landscaping, etc.), and all developer's profit. Provide AIA Document G702 if applicable.
 - n. It is assumed the project will take longer than one year to complete. Thus the Assessor's Office will require partial costs on the project to be submitted for Jan 1 of the year the project is a partial construction. The costs supplied should include: all improvement costs to the raw land (retention, site elevation work, site ingress/egress work, etc.), all materials and labor associated with construction of the building, all materials and labor associated with site improvements (asphalt/concrete work, site lighting, site landscaping, etc.), and all developer's profit. Provide AIA Document G702 if applicable.
 - o. For the apartments - the Assessor's Office will formally request all asking rents for the property at time of occupancy and also a pro forma income and expense statement that details expected stabilized performance at the property. Owner/developer should be aware that "No person may object to a valuation; if that valuation was made by the assessor or the objector using the income method; unless the person supplies to the assessor all of the information about income and expenses, as specified in the manual under s. 73.03 (2a), that the assessor requests. " Wis Stat 70.47(7)(af)
 - p. The project must include a vapor mitigation system. Details on the system must be included with the building permit submittal.
2. The following Conditions of Approval shall be satisfied with City Staff prior to the issuance of any construction permits:
- a. Prior to the issuance of any permits, a Deed Restriction or Restrictive Covenant approved by the City Attorney shall be recorded with the Kenosha County Register of Deeds stating that the property shall remain fully taxable for ad valorem tax purposes, including, but not limited to, real and personal property taxes and will not be subject to any exemption or exception to taxation unless otherwise agreed to by the City. The Deed Restriction or Restrictive Covenant shall be recorded at the applicant's expense, shall run with the land and shall be enforceable by the City against the owner and the owner's successors, assigns, and successors in title, including any tenants. The recording fee for the Deed Restriction or Restrictive Covenant shall be submitted by the applicant.
 - b. Prior to the issuance of any permits, the Conditional Use Permit shall be recorded with the Kenosha County Register of Deeds. The recording fee for the Conditional Use Permit shall be submitted by the applicant.
 - c. The Engineering Plans shall be revised and resubmitted for review and approval addressing the Storm Water and Traffic comments listed in the GeoCivix review letter.
 - d. The Utility Plan shall be revised and resubmitted for review and approval addressing the comments

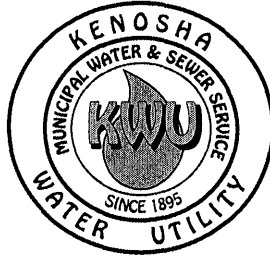
listed in the Kenosha Water Utility memo dated April 10, 2024.

- e. The items in the Fire Prevention Bureau memo dated April 10, 2024 shall be addressed.
- f. The public sidewalk on 56th Street must be widened to a minimum of nine feet (9') in width.
- g. The vision clearance at the garage entrance on 8th Avenue is measured incorrectly. The plans show the vision clearance measured as if a car was exiting the structure in the middle of the garage door. Since this is two way traffic, the vision clearance must be measured to align with an outbound vehicle. Adjust any building in the vision clearance accordingly. Also adjust any landscaping in vision clearance taller than 3' in height.
- h. Vision clearance at the southeast and southwest corners of the property must be measured from the intersection of the property lines (per ZO Section 2.06 B.1.), not the intersection of a property line and the proposed sidewalk. Adjust the building accordingly if the vision clearance requirements are not met.
- i. Provide a building elevation which has calculations showing compliance with the following criteria:
 - (1) Street Type "A." Street-facing building façades on Street Type "A" must include windows, doors, and openings of at least sixty (60) percent of the total wall area at the ground-level story of the building. [This applies to the South Elevation]
 - (2) Street Types "B" and "C." Street-facing building façades on Street Types "B" and "C" must include windows, doors, and openings of at least thirty (30) percent of the total wall area at the ground-level story of the building. [This applies to the East, North and West Elevations]
- b. Middle and Top Façade Zones. All street-facing building façades must include windows, doors, and openings of at least twenty (20) percent of the total wall area of each floor above the ground-level story of the building. [This applies to all Elevations]
- j. The ground floor elevation on the East Elevation must be amended in the middle portion of the facade with additional windows, articulation and/or material changes.
- k. A Developer's Agreement must be approved by the Common Council and Board of Water Commissioners and recorded. The Developer's Agreement will define the responsibilities of the developer as well as the City and the Kenosha Water Utility. Any required assurances must be posted with the City and the Kenosha Water Utility.
- l. The applicant must obtain a Historic Fill Site Exemption Permit from the Wisconsin Department of Natural Resources.

Engineering Services

4401 Green Bay Road
Kenosha WI 53144

Phone (262) 653-4315



Providing and Protecting Kenosha's Greatest Natural Resource

MEMO

To: Brian Wilke, Development Coordinator

From: Leif Jackson, Water Engineer

Date: April 10, 2024

Subject: Kenosha Harbor District Block I CUP

Location: 5506 7th Avenue

The Kenosha Water Utility (KWU) has reviewed the submittal for the above referenced project. Further information from the Developer is required before the Utility can complete this review. Please withhold all permits until the following information is submitted.

1. Please note that the Public Improvements portion of the Project related to the relocation of the existing twenty-four inch (24") sanitary sewer main passing through the Project Site is being reviewed independently of this Project. For the purposes of this review only the sanitary lateral has been considered.
2. A water meter detail is required to be included with the Civil Plan-set. For future submittals please note the following:
 - **Mounting Requirements** – Water meters are to be permanently housed in a climate controlled environment. The water meter shall have unobstructed access, twelve inches (12") from the inside wall, twelve to twenty-four inches (12" to 24") above the floor. The meter shall have full brass body ball valves on the inlet and outlet pipe.
 - **By-Pass** – All water meters one and one half inches (1.5") or greater shall have a bypass with a two way ball valve with locking handle. Meters two inches (2") or less shall have Jomar Tamperproof Locking Devices; all meters greater than two inches (2") shall have an American Valve, Model 3700 Flanged Ball Valve with Tamperproof Locking Device, or approved equal.
 - **Larger Meters** – For all meters three inch (3") or larger in size a strainer shall be provided five (5) pipe diameters upstream of the water meter. Water meters three inches (3") and larger shall also have a two inch (2") test plug provided between the outlet side of the meter and the outlet valve.

- **Remote Meter Reader Connection** – A 3C18 gauge cable by Belden-M, or approved equal, shall be installed in a one half inch (0.5”) conduit through the exterior wall for the remote meter reader. Remote reader to be field located by KWU meter division and installed by the developer.
- **Remote Meter Reader** – Remote meter reader is to be installed four feet (4’) above adjacent grade with no obstructions.
- **Size** – The size of the proposed meter must be included with the detail. Note that if the size is currently undetermined, the meter set should be built to house a three inch (3”) meter to capture all requirements and allow for future flexibility; a smaller meter could be installed in the three inch (3”) meter set until a larger meter is required. Please note that the size of the meter will dictate the associated Sewer Impact Fee. A breakdown of these fees can be found at:

KWU Water & Sewerage Service Rates

Note that as the existing building on the site was formerly served with a one inch (1”) water meter, the associated Sewer Impact Fee from this meter (\$8,204.00) may be applied as a credit towards a new water meter.

3. As the tapping valve for the proposed water service will be located more than ten feet (10’) from the property line, an additional valve will be required to function as the service valve for the property. For the Block I Development, this valve is to be located within the parkway or sidewalk. Note that all private utilities should be taken from the proposed water service downstream of this valve (*see Comment #5, below*).
4. Regarding the proposed hydrant for the FDC in the southwest corner of the site, note that there is an existing public hydrant in this location which will need to be removed. The existing hydrant can be abandoned by cutting and capping the hydrant lead at the property line; the abandoned hydrant must be returned to KWU (4401 Green Bay Road). Please include appropriate linework, notes, and call-outs for this work. Additionally, the work must be inspected by KWU. Please include a note/call-out requiring the Contractor to contact KWU 48-hours before the work is to be performed.
5. Still on the FDC hydrant, as KWU does not need the existing public hydrant to maintain hydrant spacing in the area, the new hydrant is to be private, owned and maintained by the property owner. As such, the hydrant lead/water service connection will need to be reconfigured to utilize a single connection to the public main. The FDC hydrant should be taken from the water service at a point downstream of the service valve (*see Comment #3, above*). Please confirm that the proposed eight inch (8”) connection between the public water main and the proposed hydrant lead tee is adequate for fire protection purposes; if a more robust connection is required to accommodate this change, this portion of the water service should be upsized.

Also note that as these private utilities (the FDC and hydrant) are to be located within the public right of way, an Encroachment Agreement with the City will likely be required.

6. The existing water and sanitary sewer services which are not to be reused for this Development must be cut and capped at the property line. Please update the Demolition plan to include appropriate linework, notes, and callouts for this work. Also note that the proposed cut and caps must be inspected by KWU (*from the public side*) and City Inspections (*from the private side*). Please include a note on the Demolition Plan to contact KWU and City Inspections forty-eight (48) hours before the work is to begin. KWU can be reached at (262) 653-4315; City Inspections can be reached at (262) 653-4263.

As there may be an opportunity to fulfill this requirement more thoroughly through the Public Improvements portion of the Project (*the existing water service is believed to be taken from 7th Avenue*), please coordinate with KWU to satisfy this requirement.

7. KWU must receive the finalized as-built plans for the Development's utilities as a condition to receive KWU's sign-off on Final Occupancy. *This note will appear on all subsequent reviews.*
8. Please note that connections to the public water main are to be made via live/wet tap to avoid water service interruptions. Live/wet taps twelve inches (12") in diameter and less are to be performed by KWU, with excavation, trench shoring, and restoration to be performed by the Developer's Contractor. Note that each tap will require a \$2,100.00 deposit to be made 48-hours before the connection is to be made (*with the final fee based on time and materials*). Taps greater than twelve inches (12") in diameter are to be made by the Developer's Contractor under the supervision of KWU. *A form of this note will appear on all subsequent reviews.*
9. Also note an eight inch (8") connection to the public main has a Monthly Private Fire Protection Service Charge of \$38.26. *A form of this note will appear on all subsequent reviews.*

Feel free to contact me with any questions, comments, or concerns.

CC: Curt Czarnecki, P.E., General Manager
Ian Bagley, P.E., Director of Engineering Services

Kenosha Fire Department
2121 Roosevelt Rd
Kenosha, WI 53143

Phone (262) 653-4100
Fax (262) 653-4107



JACOB WALDSCHMIDT
Division Chief
Fire Prevention Bureau

Fire Prevention Bureau C.U.P./Site Development Plan Review Form

Date: 4/10/2024
Project: Kenosha Harbor District-Block I
Address: 5506 7th Avenue

The City of Kenosha Fire Department Fire Prevention Bureau performed a plan review on the above property. Please see comments below and do not hesitate to contact us with questions.

Bold one:

- Approved – No Comments
- **Approved – See Comments Below**
- Withhold Permits- Subject to Items Below
- Approval Denied – See Comments Below

Comments:

1. Automatic Fire Sprinkler System Required:

Plans and specifications shall accompany each submittal, including all applicable plan review and acceptance testing fees. Plans will be reviewed and conditionally approved by the Fire Prevention Bureau. All sprinkler systems require a permit issued by the Fire Department prior to the start of any work. The Kenosha Fire Department shall witness all field and acceptance testing.

2. Fire Department Connections:

Every Automatic Fire Sprinkler System shall have the following:

a. A Fire Department Connection. The Fire Department Connection shall be operationally connected to the Automatic Fire Sprinkler System. The Fire Department Connection shall have a five (5") inch Storz connection.

Kenosha Fire Department
2121 Roosevelt Rd
Kenosha, WI 53143



JACOB WALDSCHMIDT
Division Chief
Fire Prevention Bureau

Phone (262) 653-4100
Fax (262) 653-4107

The Fire Department Connection shall be located to comply with all of the following: no further than 100 (100') feet from a fire hydrant. There may not be any obstruction between the fire hydrant and the Fire Department Connection that would impede a firefighter's access to the Fire Department Connection, or that would inhibit the operation of a hose extending from the fire hydrant to the Fire Department Connection.

b. Concrete Pumper Pad. The concrete pumper pad shall have the following minimum dimensions of concrete: length of twenty (20') feet; width of fifteen (15') feet; and depth of six (6") inches. The concrete pad must be designed and maintained to allow for the parking of at least a Fire Department pumper apparatus of sixty-five thousand (65,000 lbs.) pounds gross weight on it, without failure. Said pumper pad must have included within it or have within five (5') feet adjacent to it, a fire hydrant containing at least one five (5") inch Storz connection and at least two (2) two and one-half (2.5") inch outlets having national standard threads; if the fire hydrant is located off the concrete pumper pad, the concrete pumper pad must be oriented such that an outlet having five (5") inch Storz connection must face the concrete pumper pad, and there may not be any obstruction between the fire hydrant and the pumper pad that would impede a firefighter's access to the fire hydrant from the pumper pad, or that would inhibit the operation of a hose extending from the fire hydrant to the Fire Department pumper apparatus.

c. Knox Box Locking Cap Covers. All Fire Department Connections, regardless of when installed, shall be occluded by a Locking Cap capable of being removed by appropriate Key Wrenches carried by the Fire Department. Due to the need for consistency and efficiency in emergency situations, and due to the proprietary nature of Key Wrenches, the Fire Department may specify a certain manufacturer or a limited number of manufacturers that provide Locking Caps removable by a particular Key Wrench configuration. Contact the Fire Department for specifications.

d. Bollards. Fire hydrants associated with the pumper pad and any private hydrants on the property shall be protected from vehicular traffic damage with bollards. The Bureau shall determine the number of bollards needed, if needed at all.

e. Signage. All Fire Department Connections will be labeled on the building or pumper pad; signage to be approved by the Bureau.

Kenosha Fire Department
2121 Roosevelt Rd
Kenosha, WI 53143



JACOB WALDSCHMIDT
Division Chief
Fire Prevention Bureau

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f. Yard Fire Hydrant Colors:

- a. Yard fire hydrants fed by municipal water shall be safety blue in color.
- b. No person shall alter the color or paint scheme of an approved private fire hydrant.

3. Class Three Standpipe Required:

Class Three Standpipe will be installed in the building in the exit stairwells at the intermediate level.

4. Building & Door Numbers:

Building address number size and man door number size shall be approved by the FPB AHJ prior to installation on the building.

5. Knox Box Required:

A Knox Box shall be required on all buildings, multiple may be needed on larger buildings, per 3.30 (C) of the City of Kenosha Ordinance.

6. Radio Repeater Required:

Emergency public safety radio communication equipment needed. See attached ordinance.

7. Exit Signs in Proximity of the Floor

Floor proximity exit signs as required per 3.27 of the City of Kenosha Ordinance. In the office sections of the buildings.

8. Fire Alarms Required:

Fire alarms shall be required in all buildings on the plan. All alarms will be individually monitored by the address of the building. Fire alarm plans shall be reviewed and permitted through the Fire Prevention Bureau. Upon completion of the building final testing of the system shall be completed before final occupancy of the building is gained.

9. City of Kenosha Requirements: All requirements are in accordance with Kenosha Code of Ordinances-Chapter 3 and State of Wisconsin SPS 314.

Reviewed by:

Jacob Waldschmidt

Kenosha Fire Department

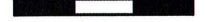
City of Kenosha
Vicinity Map
Kenosha Harbor District - Block I
Conditional Use Permit



 Subject Property



0 300



Feet



P: 262-653-4030
E: idtcd1@kenosha.org

625 52nd Street, Kenosha, WI 53140
www.kenosha.org

Project Overview **#1282005**

Project Title: Kenosha Harbor District Block I CUP **Jurisdiction:** City of Kenosha
Application Type: Electronic Review **State:** WI
Workflow: Express Workflow **County:** Kenosha

Contact Information

Project Contact - Agent/Representative

Todd Wunderlich
Kenosha Downtown Partners, LLC
125 Camelot Drive
Fond Du Lac, WI 54935
P:9205403963
cobaltsmith@cdsmith.com

Property Owner

Todd Wunderlich
Kenosha Downtown Block I, LLC
125 Camelot Drive
FOND DU LAC, WI 54935
P:9205403963
cobaltsmith@cdsmith.com

Please indicate which of the following contacts are included in this project.: Developer

Contractor

Todd Wunderlich
Kenosha Downtown Partners, LLC
125 Camelot Drive
Fond Du Lac, WI 54935
P:9205403963
cobaltsmith@cdsmith.com

Developer

Todd Wunderlich
Kenosha Downtown Partners, LLC
125 Camelot Drive
Fond Du Lac, WI 54935
P:9205403963
cobaltsmith@cdsmith.com

Project Information

Project Address: 5506 7TH AVENUE

Project Type: Conditional Use Permit

Project Description:

Project Valuation: \$48,000,000.00

The project is Block I of the larger, multi-block development known as Kenosha Harbor District. The building will be five stories above grade with one level of underground parking. The project is planned to include +/- 158 residential rental units and +/- 205 structured parking stalls. The residential units will be market rate with a mix of studio, one-bedroom, two-bedroom and three-bedroom layouts. The primary faade materials for the building consist of brick, precast concrete at the ground floor, fiber cement panels, and framed glazing systems with insulated glass.

Is the property subject to any easements, covenants, or other restrictions?: Yes

Please indicate the restrictions that apply.:

Easement contained in Resolution No. 138-96 recorded October 25, 1996, as Document No. 1039798.

Redevelopment Plan for the Harbor park Redevelopment Project
Area recorded July 2, 1998, as Document No. 1103192

Proposed Use: Multifamily
Project Acreage: 1.38

Total Square Footage of Project: 254457

BLOCK I

KENOSHA HARBOR DISTRICT



209 south water street, milwaukee, wisconsin 53204 t 414 359 3060
 2310 crossroads drive, suite 2000, madison, wisconsin 53718 t 608 240 9900
 1970 main street, suite 201, sarasota, florida 34236 t 941 444 8845
 311 canyon wren drive, buda, texas 78610 t 512 649 5627

5506 7TH AVE, KENOSHA, WI 53140

SHEET INDEX

GENERAL

000 TITLE SHEET

ARCHITECTURAL

- A050 LIFE SAFETY PLANS / CODE WORKSHEETS
- A051 CODE WORKSHEETS
- A200 LOWER LEVEL FLOOR PLAN
- A201 FIRST FLOOR PLAN
- A202 SECOND FLOOR PLAN
- A203 THIRD/FOURTH FLOOR PLAN
- A204 FIFTH FLOOR PLAN
- A210 UNIT/ENLARGED FLOOR PLANS
- A211 UNIT/ENLARGED FLOOR PLANS
- A212 UNIT/ENLARGED FLOOR PLANS
- A220 ROOF PLANS
- A400 EXTERIOR ELEVATIONS
- A401 EXTERIOR ELEVATIONS
- A402 EXTERIOR PERSPECTIVES
- A500 BUILDING SECTIONS
- A501 BUILDING SECTIONS
- COLOR EXTERIOR ELEVATIONS
- EXTERIOR MATERIALS

CIVIL/LANDSCAPING

- C001 SITE SURVEY
- C002 EROSION CONTROL PLAN
- C100 OVERALL SITE PLAN
- C200 OVERALL GRADING PLAN
- C201 GRADING PLAN
- C300 UTILITY PLAN
- C400 EROSION CONTROL DETAILS
- C401 DETAILS
- C500 SPECIFICATIONS
- C501 SPECIFICATIONS
- L100 OVERALL LANDSCAPING PLAN
- L200 LANDSCAPE DETAILS
- L300 LANDSCAPE SPECIFICATIONS

PROJECT INFORMATION

PROJECT DATE: 3-15-24
 PRA PROJECT NUMBER: 230251-01
 DRAWING SET: CUP SUBMISSION
 BID PACKAGE:

APPLICABLE CODES AND ZONING

2018 WISCONSIN COMMERCIAL BUILDING CODE (SPS 381-366)
 2015 INTERNATIONAL BUILDING CODE
 RESIDENTIAL OCCUPANCY, GROUP R-2
 STORAGE OCCUPANCY, GROUP S-2
 ASSEMBLY OCCUPANCY, GROUP A-3

ZONING: CITY OF KENOSHA ORDINANCES

CONSTRUCTION CLASSIFICATION

NEW CONSTRUCTION
 BUILDING SEPARATION PROVIDED BY HORIZONTAL ASSEMBLY IN ACCORDANCE WITH IBC 2015, SECTION 510.2

LOWER LEVEL AND FIRST FLOOR
 TYPE OF CONSTRUCTION, PROTECTED, TYPE IA
 FULLY SPRINKLERED PER NFPA 13

SECOND THROUGH FIFTH FLOORS
 TYPE OF CONSTRUCTION, PROTECTED, TYPE VA
 FULLY SPRINKLERED PER NFPA 13

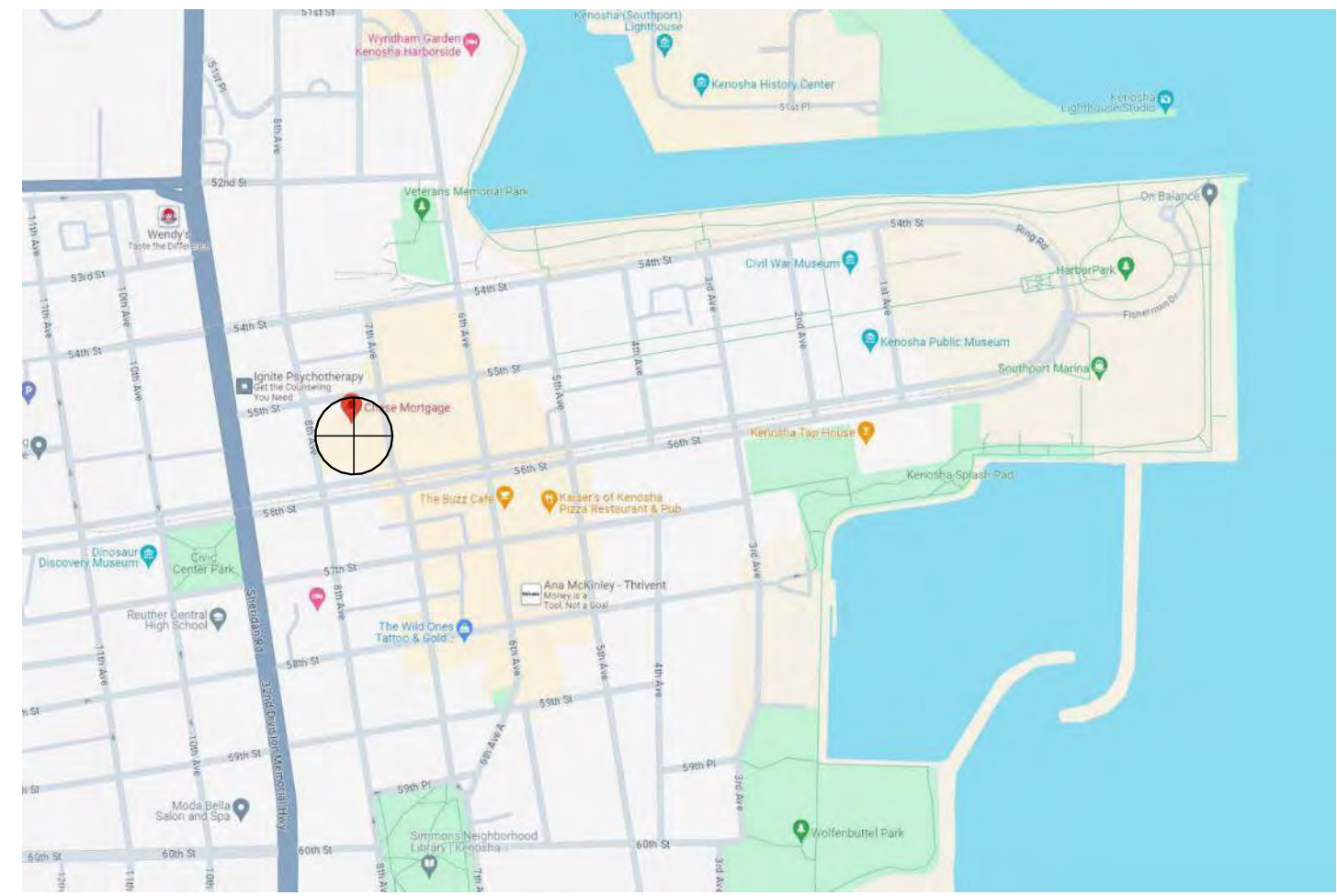
BUILDING AREA

OVERALL FOOTPRINT 52,773 SF

LOWER LEVEL	53,179 SF
FIRST FLOOR	52,176 SF
SECOND FLOOR	43,454 SF
THIRD FLOOR	35,782 SF
FOURTH FLOOR	35,777 SF
FIFTH FLOOR	34,089 SF
BUILDING TOTAL	254,457 SF

UNIT MIX	
ROOM NAME	Count
1 BED DEN UNIT	
1 BED DEN A	8
1 BED DEN B	6
1 BED DEN C	4
1 BED DEN D	2
	20
1 BED UNIT	
1 BED A	41
1 BED B	2
1 BED C	1
2 BED A	4
	48
2 BED UNIT	
1 BED A	3
2 BED A	31
2 BED B	14
	48
3 BED UNIT	
3 BED A	3
3 BED B	3
	6
JUNIOR 1 BED UNIT	
JR 1 BED A	13
JR 1 BED B	4
JR 1 BED C	1
	18
STUDIO UNIT	
STUDIO A	10
STUDIO B	8
	18
TOTAL	158

PROJECT LOCATION

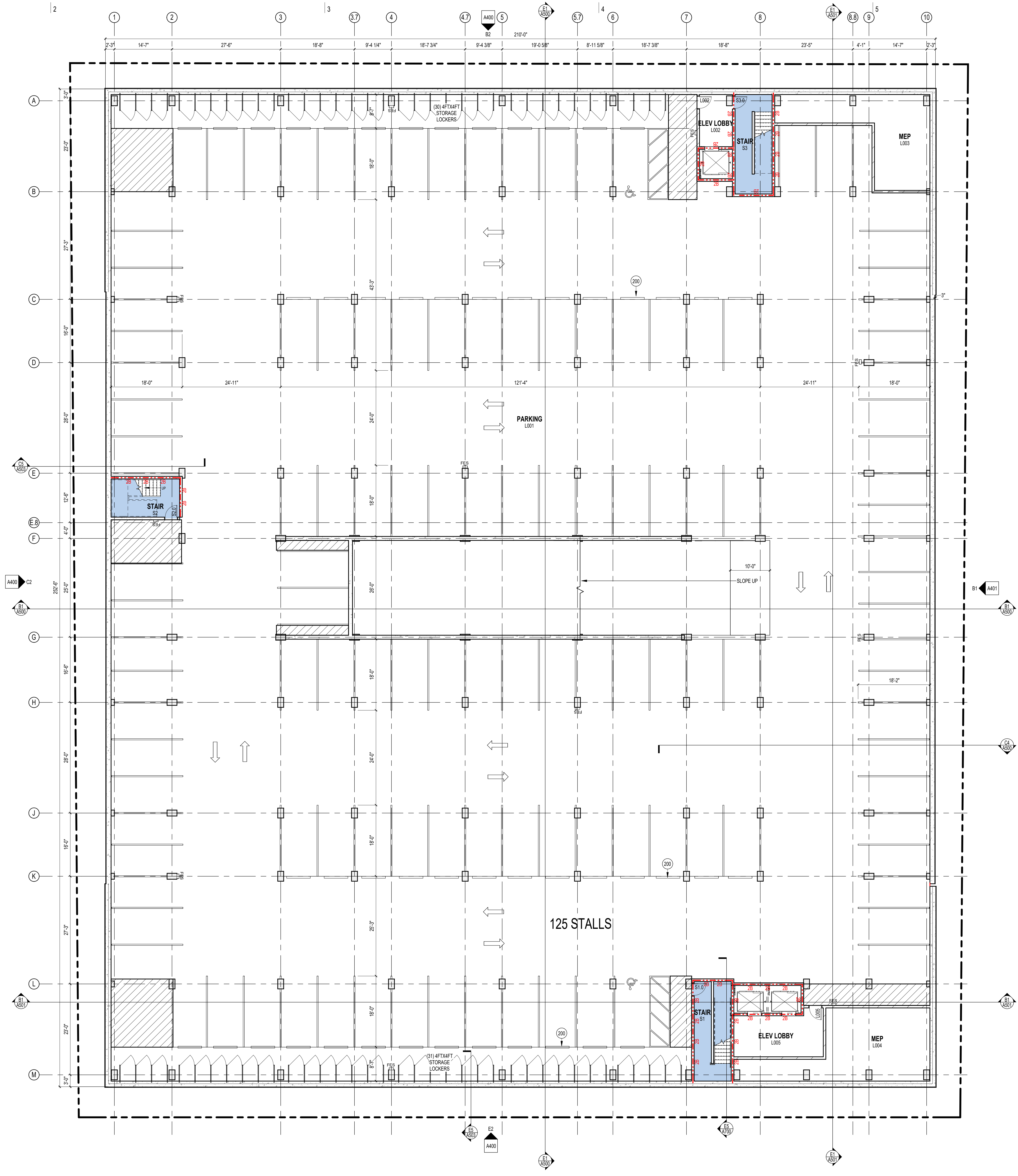


PROJECT TEAM

STRUCTURAL
 PIERCE ENGINEERS

TEL(414) 278-6060





FLOOR PLAN SYMBOLS LEGEND

SECTION REFERENCE	WALL/PARTITION
DTL	DOOR
EXTERIOR ELEVATION	DETAIL REFERENCE
INTERIOR ELEVATION	EQUIPMENT
FLOOR PLAN NOTE	WINDOW TYPE
MATCHLINE	WALL/PARTITION TYPE
ONE HOUR RATED FIRE PARTITION	FESR SEMI-RECESSED FIRE EXTINGUISHER CABINET
TWO HOUR RATED FIRE BARRIER	FES SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL, (NOMINAL).

B. PLUMBING FIXTURES ARE SHOWN FOR REFERENCE ONLY. REFER TO DESIGN BUILD PLUMBING DRAWINGS FOR SPECIFIC FIXTURE TYPE AND SIZES.

GYPSUM BOARD PARTITIONS GENERAL NOTES

A. ALL GYPSUM BOARD PARTITIONS SHALL BE (FIB) UNLESS OTHERWISE NOTED ON FLOOR PLAN.

B. GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

C. REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

D. PROVIDE FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

E. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

F. EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF DECK ABOVE.

MASONRY PARTITIONS GENERAL NOTES

A. MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN: [Hatch Pattern]

B. ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.

C. PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.

D. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

E. EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL [Detail Mark] PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

FLOOR PLAN NOTES

MARK	DESCRIPTION
200	WHEEL STOPS

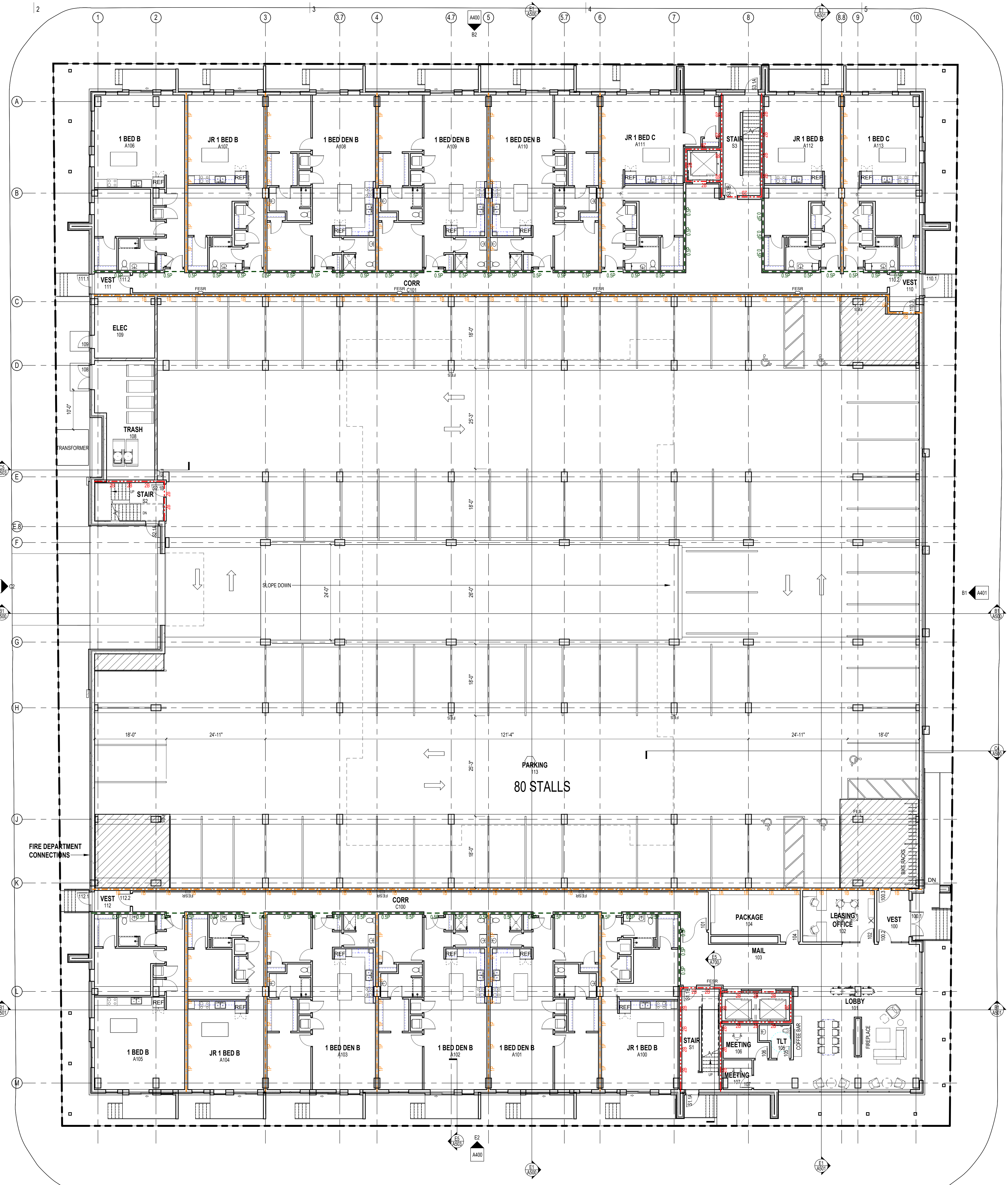
EXTERIOR WALL TYPES

MARK	ASSEMBLY DESCRIPTION
1A.1	MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK (EDIT FOR OTHER MATERIALS), AIR SPACE, 3" RIGID INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 1/2" EXTERIOR GYPSUM SHEATHING, GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY. CAVITY DRAINAGE MATERIAL, FLASHING, MASONRY EXPANSION AND CONTROL JOINTS. PROVIDE CAVITY WEEPSVENTS @ 24" OC. COMPARTMENTALIZE THE CAVITY AND PROVIDE CAVITY WEEPSVENTS AT TOP/BOTTOM OF CAVITY. REFER TO DETAIL XXAXXX.
1D.1	FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT PANEL, WEATHER BARRIER/DRAINAGE FLANGE, 3" NAIL BASE INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 1/2" EXTERIOR GYPSUM SHEATHING, 6" GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
1H.1	PANEL WALL SYSTEM CONSISTING OF XX" ARCHITECTURAL PRECAST CONCRETE PANEL, 3" SPRAY APPLIED INSULATION, 1" FIRE BARRIER, 3/4" AIR SPACE, 3-5/8" GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD @ INTERIOR FACE.
2A.1	MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK, AIR SPACE, WEATHER BARRIER, CONTINUOUS RIGID INSULATION, ON 1/2" EXTERIOR GRADE PLYWOOD/SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE W/STRUCTURAL), 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY. CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPSVENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. PROVIDE CAVITY WEEPSVENTS AT TOP AND BOTTOM OF CAVITY.
2D.1	FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT PANEL, ON 1/2" FURRING, ON 1" RIGID INSULATION, WEATHER BARRIER ON 1/2" EXTERIOR GRADE PLYWOOD/SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE W/STRUCTURAL), 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
2D.2	FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT LAP SIDING, ON 1/2" FURRING, 1" RIGID INSULATION, WEATHER BARRIER ON 1/2" EXTERIOR GRADE PLYWOOD/SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE W/STRUCTURAL), 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
3A.1	INSULATED ARCHITECTURAL PRECAST CONCRETE WALL PANEL SYSTEM CONSISTING OF 16" STRUCTURAL PANEL, 3" RIGID INSULATION (EDIT FOR THICKNESS) AND XX" PATTERNED CONCRETE EXTERIOR FACE (EDIT FOR PATTERN: SMOOTH, RIBBED, RAKED, RANDOM, ETC.) WITH EXPOSED LIMESTONE AGGREGATE AT EXTERIOR FACE (EDIT FOR FINISH)

INTERIOR PARTITION TYPES

MARK	ASSEMBLY DESCRIPTION	FIRE RATING	UL	INSULATION
DJ0	2 x 6 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	-	-	-
SM1	8" CONCRETE MASONRY UNITS	1 HR	-	-
TP2	8" PRECAST CONCRETE	2 HR	-	-
L00	10" PRECAST CONCRETE	-	-	-

LOWER LEVEL FLOOR PLAN
3/2" = 1'-0"



FLOOR PLAN SYMBOLS LEGEND

SECTION REFERENCE	WALL PARTITION
DTL SHT EXTERIOR ELEVATION	DOOR
DTL SHT INTERIOR ELEVATION	DETAIL REFERENCE
FLOOR PLAN NOTE	EQUIPMENT
MATCHLINE	WINDOW TYPE
ONE HOUR RATED FIRE PARTITION	WALL PARTITION TYPE
TWO HOUR RATED FIRE BARRIER	FESR SEMI-RECESSED FIRE EXTINGUISHER CABINET
	FES SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

B. PLUMBING FIXTURES ARE SHOWN FOR REFERENCE ONLY. REFER TO DESIGN BUILD PLUMBING DRAWINGS FOR SPECIFIC FIXTURE TYPE AND SIZES.

GYPSUM BOARD PARTITIONS GENERAL NOTES

A. ALL GYPSUM BOARD PARTITIONS SHALL BE (EP) UNLESS OTHERWISE NOTED ON FLOOR PLAN.

B. GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

C. REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

D. PROVIDE FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

E. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

F. EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF DECK ABOVE.

MASONRY PARTITIONS GENERAL NOTES

A. MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:

B. ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.

C. PROVIDE U/L RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.

D. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

E. EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR HORIZONTAL REINFORCEMENT REQUIREMENTS.

FLOOR PLAN NOTES

MARK	DESCRIPTION
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EXTERIOR WALL TYPES

MARK	ASSEMBLY DESCRIPTION
1A.1	MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK (EDIT FOR OTHER MATERIALS), AIR SPACE, 3" RIGID INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 1/2" EXTERIOR GYPSUM SHEATHING, GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY. CAVITY DRAINAGE MATERIAL, FLASHING, MASONRY EXPANSION AND CONTROL JOINTS. PROVIDE CAVITY WEEPSVENTS @ 24" OC. COMPARTMENTALIZE THE CAVITY AND PROVIDE CAVITY WEEPSVENTS AT TOP/BOTTOM OF CAVITY. REFER TO DETAIL XXXXXX.
1D.1	FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT PANEL, WEATHER BARRIER/DRAINAGE FLANGE, 3" MAIL BASE INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 1/2" EXTERIOR GYPSUM SHEATHING, 6" GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
1H.1	PANEL WALL SYSTEM CONSISTING OF XX" ARCHITECTURAL PRECAST CONCRETE PANEL, 3" SPRAY APPLIED INSULATION, 1" FIRE BARRIER, 3/4" AIR SPACE, 3-5/8" GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD @ INTERIOR FACE.
2A.1	MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK, AIR SPACE, WEATHER BARRIER, 1" CONTINUOUS RIGID INSULATION ON 1/2" EXTERIOR GRADE PLYWOOD/SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE W/STRUCTURAL), 2 x 8 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY. CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPSVENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. PROVIDE CAVITY WEEPSVENTS AT TOP AND BOTTOM OF CAVITY.
2D.1	FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT PANEL ON 1/2" FURRING ON 1" RIGID INSULATION, WEATHER BARRIER ON 1/2" EXTERIOR GRADE PLYWOOD/SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE W/STRUCTURAL), 2 x 8 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
2D.2	FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT LAP SIDING ON 1/2" FURRING, 1" RIGID INSULATION, WEATHER BARRIER ON 1/2" EXTERIOR GRADE PLYWOOD/SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE W/STRUCTURAL), 2 x 8 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
3K.1	INSULATED ARCHITECTURAL PRECAST CONCRETE WALL PANEL SYSTEM CONSISTING OF 16" STRUCTURAL PANEL, 3" RIGID INSULATION (EDIT FOR THICKNESS) AND XX" PATTERNED CONCRETE EXTERIOR FACE (EDIT FOR PATTERN: SMOOTH, RIBBED, RAKED, RANDOM, ETC.) WITH EXPOSED LIMESTONE AGGREGATE AT EXTERIOR FACE (EDIT FOR FINISH)

INTERIOR PARTITION TYPES

MARK	ASSEMBLY DESCRIPTION	FIRE RATING	UL	INSULATION
B00	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	-	-	3-1/2" SOUND
B01	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	1 HR	U419	3" MINERAL WOOL BATT
B10	6" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	-	-	FULL WIDTH SOUND
CL1	6" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC (CORR SIDE ONLY).	1 HR	-	FULL WIDTH SOUND
DJ0	2 x 8 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	-	-	3" MINERAL WOOL BATT
EF1	2 x 4 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	1 HR	US05	3" MINERAL WOOL BATT
GG0	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD.	-	-	-
H30	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD. INSULATION SUPPORT WIRE (ON CHASE SIDE).	-	-	3-1/2" THERMAL
SN1	8" CONCRETE MASONRY UNITS	1 HR	-	-
TP2	8" PRECAST CONCRETE	2 HR	-	-
UR0	10" PRECAST CONCRETE	-	-	-
YF1	DEMISING WALL CONSISTING OF (2) 2 x 4 WOOD STUDS @ 16" OC WITH 1" AIR SPACE BETWEEN STUDS AND ONE LAYER 5/8" GYPSUM BOARD @ EACH OUTSIDE FACE.	1 HR	US40	3-1/2" MINERAL WOOL BATT (BOTH SIDES)
YF1	DEMISING WALL CONSISTING OF (2) 2 x 4 WOOD STUDS @ 16" OC WITH 1" AIR SPACE BETWEEN STUDS AND ONE LAYER 5/8" GYPSUM BOARD @ EACH OUTSIDE FACE.	1 HR	US40	3-1/2" MINERAL WOOL BATT (BOTH SIDES)

FIRST FLOOR
3/2" = 1'-0"

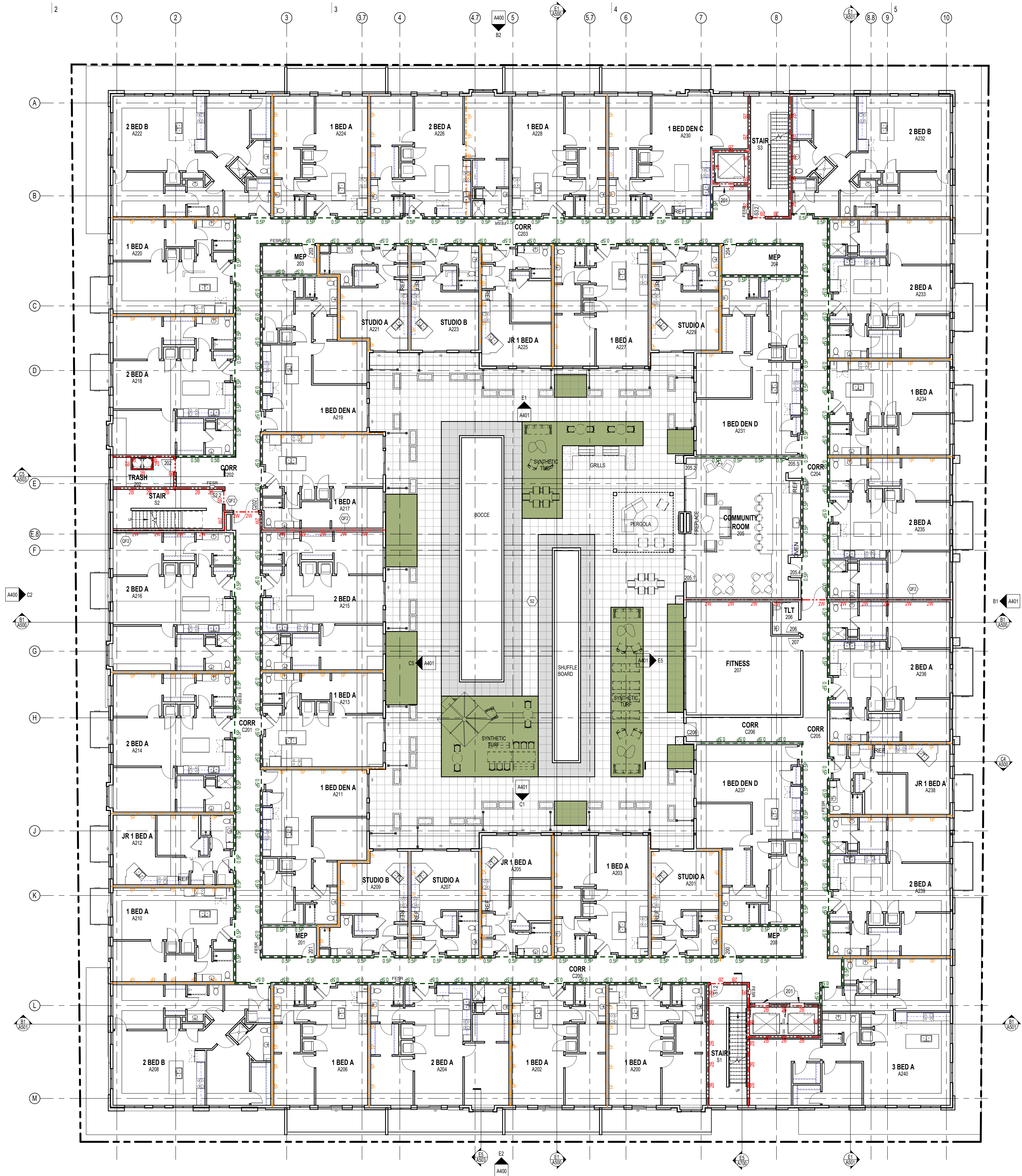
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BLOCK I
KENOSHA HARBOR DISTRICT
 1500 7TH AVE, KENOSHA, WI 53140

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GMP SET
 BID PACKAGE
 DATE: 3-15-24
 JOB NO: 230251-01
 SHEET NO: A201



FLOOR PLAN SYMBOLS LEGEND

SECTION REFERENCE	WALL PARTITION
DTL	DOOR
EXTERIOR ELEVATION	DETAIL REFERENCE
INTERIOR ELEVATION	EQUIPMENT
FLOOR PLAN NOTE	WINDOW TYPE
MATCHLINE	WALL PARTITION TYPE
ONE HOUR RATED FIRE PARTITION	FESR SEMI-RECESSED FIRE EXTINGUISHER CABINET
TWO HOUR RATED FIRE BARRIER	FES SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

B. PLUMBING FIXTURES ARE SHOWN FOR REFERENCE ONLY. REFER TO DESIGN BUILD PLUMBING DRAWINGS FOR SPECIFIC FIXTURE TYPE AND SIZES.

GYPSUM BOARD PARTITIONS GENERAL NOTES

A. ALL GYPSUM BOARD PARTITIONS SHALL BE (GFB) UNLESS OTHERWISE NOTED ON FLOOR PLAN.

B. GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

C. REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

D. PROVIDE FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

E. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

F. EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF DECK ABOVE.

MASONRY PARTITIONS GENERAL NOTES

A. MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:

B. ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.

C. PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.

D. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

E. EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

FLOOR PLAN NOTES

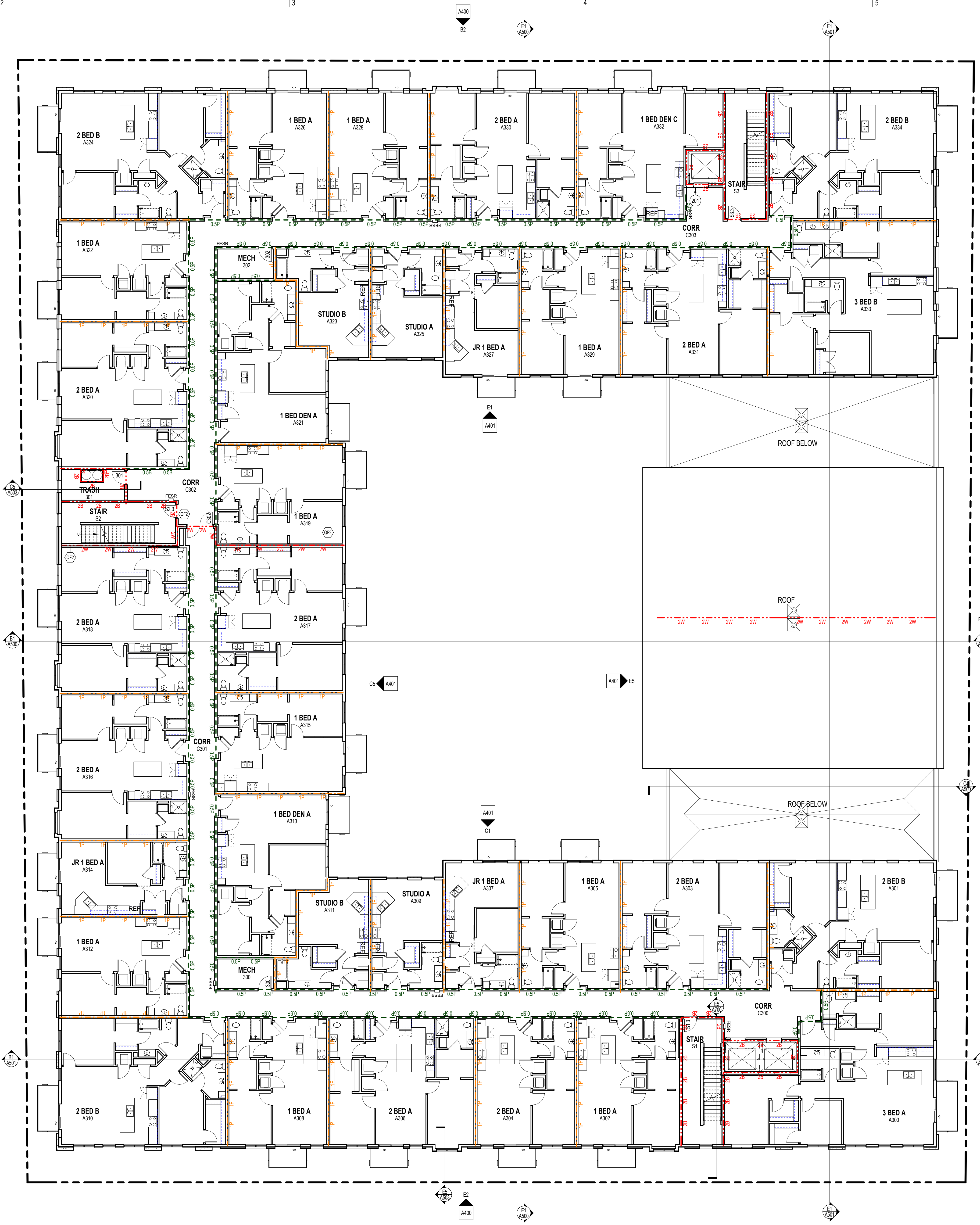
MARK	DESCRIPTION
201	COILING SMOKE CONTROL CURTAIN

EXTERIOR WALL TYPES

MARK	ASSEMBLY DESCRIPTION
1A1	MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK (EDIT FOR OTHER MATERIALS), AIR SPACE, 3" RIGID INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 1/2" EXTERIOR GYPSUM SHEATHING, GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY. CAVITY DRAINAGE MATERIAL, FLASHING, MASONRY EXPANSION AND CONTROL JOINTS. PROVIDE CAVITY WEEPSEVENTS @ 24" OC. COMPARTMENTALIZE THE CAVITY AND PROVIDE CAVITY WEEPSEVENTS AT TOP/BOTTOM OF CAVITY. REFER TO DETAIL XXAXXX.
1D1	FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT PANEL, WEATHER BARRIER/RAINAGE FLANGE, 3" NAIL BASE INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 1/2" EXTERIOR GYPSUM SHEATHING, 6" GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
1H1	PANEL WALL SYSTEM CONSISTING OF XX" ARCHITECTURAL PRECAST CONCRETE PANEL, 1" SPRAY APPLIED INSULATION, 1" FIRE BARRIER, 3/4" AIR SPACE, 3-5/8" GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD @ INTERIOR FACE.
2A1	MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK, AIR SPACE, WEATHER BARRIER, 1" CONTINUOUS RIGID INSULATION ON 1/2" EXTERIOR GRADE PLYWOOD/SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE W/STRUCTURAL), 2 X 8 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY. CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPSEVENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. PROVIDE CAVITY WEEPSEVENTS AT TOP AND BOTTOM OF CAVITY.
2D1	FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT PANEL ON 1/2" FURRING ON 1" RIGID INSULATION, WEATHER BARRIER ON 1/2" EXTERIOR GRADE PLYWOOD/SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE W/STRUCTURAL), 2 X 8 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
2D2	FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT LAP SIDING ON 1/2" FURRING, 1" RIGID INSULATION, WEATHER BARRIER ON 1/2" EXTERIOR GRADE PLYWOOD/SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE W/STRUCTURAL), 2 X 8 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
3K1	INSULATED ARCHITECTURAL PRECAST CONCRETE WALL PANEL SYSTEM CONSISTING OF 16" STRUCTURAL PANEL, 3" RIGID INSULATION (EDIT FOR THICKNESS) AND XX" PATTERNED CONCRETE EXTERIOR FACE (EDIT FOR PATTERN: SMOOTH, RIBBED, RAKED, RANDOM, ETC.) WITH EXPOSED LIMESTONE AGGREGATE AT EXTERIOR FACE (EDIT FOR FINISH)

INTERIOR PARTITION TYPES

MARK	ASSEMBLY DESCRIPTION	FIRE RATING	UL	INSULATION
D01	2 x 4 WOOD STUDS @ 16" OC 1-LAYER 5/8" GYPSUM BOARD @ EACH FACE	1 HR	US05	-
D02	2 x 6 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE	2 HR	US01	-
D12	2 x 6 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE	-	-	3-1/2" SOUND
E02	2 x 4 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE	1 HR	US05	3" MINERAL WOOL BATT
E12	2 x 6 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE	2 HR	US08	5-1/2" MINERAL WOOL BATT
F11	2 x 6 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE	1 HR	-	5-1/2" SOUND
G00	5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD	-	-	-
JF0	2 x 4 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD	-	-	-
QE2	2-1/2" STEEL C-CH STUDS @ 24" OC ONE LAYER 1" GYPSUM BOARD LINER PANEL @ INTERIOR FACE 2 LAYERS 1/2" GYPSUM BOARD @ EXTERIOR FACE	2 HR	U415 (B)	-
QF2	5-1/2" WOOD STUDS @ 16" OC, 1 LAYER GYPSUM BOARD @ OUTSIDE FACE, 3/4" AIRSPACE, 2 LAYERS 1" GYPSUM BOARD LINER PANEL, 3/4" AIRSPACE, 3-1/2" WOOD STUDS @ 16" OC, 1 LAYER GYPSUM BOARD @ OUTSIDE FACE. WALL TO BE CONTINUOUS TO INSIDE FACE OF EXTERIOR WALL SHEATHING AND TO UNDERSIDE OF FLOOR ROOF SHEATHING.	2 HR	US36	-
SM1	8" CONCRETE MASONRY UNITS	1 HR	-	-
TP2	8" PRECAST CONCRETE	2 HR	-	-
YF1	DEMISING WALL CONSISTING OF (2) 2 x 4 WOOD STUDS @ 16" OC WITH 1" AIR SPACE BETWEEN STUDS AND ONE LAYER 5/8" GYPSUM BOARD @ EACH OUTSIDE FACE	1 HR	US40	3-1/2" MINERAL WOOL BATT @ SIDES



FLOOR PLAN SYMBOLS LEGEND

SECTION REFERENCE	WALL PARTITION
DTL	DOOR
EXTERIOR ELEVATION	DETAIL REFERENCE
INTERIOR ELEVATION	EQUIPMENT
FLOOR PLAN NOTE	WINDOW TYPE
MATCHLINE	WALL PARTITION TYPE
ONE HOUR RATED FIRE PARTITION	FESR SEMI-RECESSED FIRE EXTINGUISHER CABINET
TWO HOUR RATED FIRE BARRIER	FES SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

B. PLUMBING FIXTURES ARE SHOWN FOR REFERENCE ONLY. REFER TO DESIGN BUILD PLUMBING DRAWINGS FOR SPECIFIC FIXTURE TYPE AND SIZES.

GYPSUM BOARD PARTITIONS GENERAL NOTES

A. ALL GYPSUM BOARD PARTITIONS SHALL BE (GFB) UNLESS OTHERWISE NOTED ON FLOOR PLAN.

B. GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

C. REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

D. PROVIDE FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

E. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

F. EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF DECK ABOVE.

MASONRY PARTITIONS GENERAL NOTES

A. MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN: [Hatch Pattern]

B. ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.

C. PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.

D. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

E. EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL [Detail Reference] PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

FLOOR PLAN NOTES

MARK	DESCRIPTION
201	COILING SMOKE CONTROL CURTAIN

EXTERIOR WALL TYPES

MARK	ASSEMBLY DESCRIPTION
1A1	MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK (EDIT FOR OTHER MATERIALS), AIR SPACE, 3" RIGID INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 1/2" EXTERIOR GYPSUM SHEATHING, GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY. CAVITY DRAINAGE MATERIAL, FLASHING, MASONRY EXPANSION AND CONTROL JOINTS. PROVIDE CAVITY WEEPSEVENTS @ 24" OC. COMPARTMENTALIZE THE CAVITY AND PROVIDE CAVITY WEEPSEVENTS AT TOP/BOTTOM OF CAVITY. REFER TO DETAIL XX999X.
1D1	FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT PANEL, WEATHER BARRIER/RAINAGE FLANGE, 3" NAIL BASE INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 1/2" EXTERIOR GYPSUM SHEATHING, 6" GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
1H1	PANEL WALL SYSTEM CONSISTING OF XX" ARCHITECTURAL PRECAST CONCRETE PANEL, 1" SPRAY APPLIED INSULATION, 1" FIRE BARRIER, 3/4" AIR SPACE, 3-5/8" GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD @ INTERIOR FACE.
2A1	MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK, AIR SPACE, WEATHER BARRIER, 1" CONTINUOUS RIGID INSULATION ON 1/2" EXTERIOR GRADE PLYWOOD/SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE W/STRUCTURAL), 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY. CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPSEVENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. PROVIDE CAVITY WEEPSEVENTS AT TOP AND BOTTOM OF CAVITY.
2D1	FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT PANEL ON 1/2" FURRING ON 1" RIGID INSULATION, WEATHER BARRIER ON 1/2" EXTERIOR GRADE PLYWOOD/SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE W/STRUCTURAL), 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
2D2	FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT LAP SIDING ON 1/2" FURRING, 1" RIGID INSULATION, WEATHER BARRIER ON 1/2" EXTERIOR GRADE PLYWOOD/SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE W/STRUCTURAL), 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
3K1	INSULATED ARCHITECTURAL PRECAST CONCRETE WALL PANEL SYSTEM CONSISTING OF 16" STRUCTURAL PANEL, 3" RIGID INSULATION (EDIT FOR THICKNESS) AND XX" PATTERNED CONCRETE EXTERIOR FACE (EDIT FOR PATTERN: SMOOTH, RIBBED, RAKED, RANDOM, ETC.) WITH EXPOSED LIMESTONE AGGREGATE AT EXTERIOR FACE (EDIT FOR FINISH).

INTERIOR PARTITION TYPES

MARK	ASSEMBLY DESCRIPTION	FIRE RATING	UL	INSULATION
DF1	2 x 4 WOOD STUDS @ 16" OC 1-LAYER 5/8" GYPSUM BOARD @ EACH FACE	1 HR	US05	--
DJ0	2 x 6 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	--	--	--
DJ2	2 x 6 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	2 HR	US01	--
EFO	2 x 4 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	--	--	3-1/2" SOUND
EJ2	2 x 6 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	2 HR	US08	5-1/2" MINERAL WOOL BATT
FJ1	2 x 6 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC (CORR SIDE ONLY).	1 HR	--	5-1/2" SOUND
GG0	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD.	--	--	--
JF0	2 x 4 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD.	--	--	--
QE2	2-1/2" STEEL C-H STUDS @ 24" OC ONE LAYER 1/2" GYPSUM BOARD @ INTERIOR FACE 2 LAYERS 1/2" GYPSUM BOARD @ EXTERIOR FACE	2 HR	(U415 B)	--
QF2	3-1/2" WOOD STUDS @ 16" OC, 1 LAYER GYPSUM BOARD @ OUTSIDE FACE, 3/4" AIRSPACE, 2 LAYERS 1/2" GYPSUM BOARD, LINER PANEL, 3/4" AIRSPACE, 3-1/2" WOOD STUDS @ 16" OC, 1 LAYER GYPSUM BOARD @ OUTSIDE FACE. WALL TO BE CONTINUOUS TO INSIDE FACE OF EXTERIOR WALL SHEATHING AND TO UNDERSIDE OF FLOOR/ROOF SHEATHING.	2 HR	US38	--
SN1	6" CONCRETE MASONRY UNITS	1 HR	--	--
YF1	DEMISING WALL CONSISTING OF (2) 2 x 4 WOOD STUDS @ 16" OC WITH 1 HR 1" AIR SPACE BETWEEN STUDS AND ONE LAYER 5/8" GYPSUM BOARD @ EACH OUTSIDE FACE	1 HR	US40	3-1/2" MINERAL WOOL BATT (BOTH SIDES)

THIRD/FOURTH FLOOR
3/2" = 1'-0"

NOT FOR CONSTRUCTION
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GMP SET
BID PACKAGE
DATE: 3-15-24
JOB NO: 230251-01
SHEET NO:

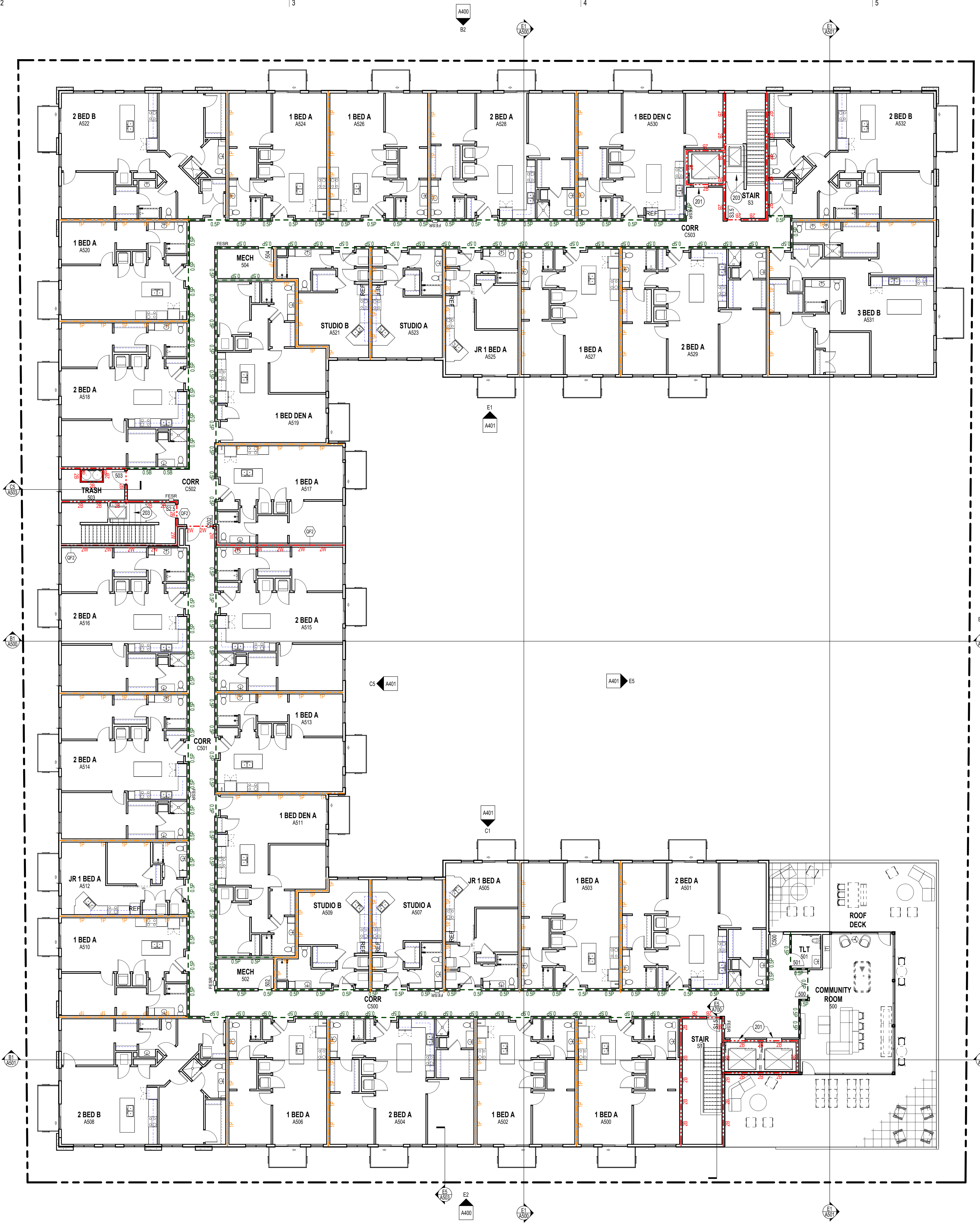
A203

prai PLUNKETT RAYSICH ARCHITECTS, LLP

BLOCK I
KENOSHA HARBOR DISTRICT
1500 7TH AVE, KENOSHA, WI 53140

THIRD/FOURTH FLOOR PLAN

1500 7th Ave, Kenosha, Wisconsin 53140
1-800-248-9900
2310 Greenwood Drive, Suite 200, Madison, Wisconsin 53718
1-814-448-8905
1979 Main Street, Suite 201, Milwaukee, Wisconsin 53233
311 Corporate Center, Suite 200, Waukegan, Illinois 60087



FLOOR PLAN SYMBOLS LEGEND

SECTION REFERENCE	WALL PARTITION
DTL SHT EXTERIOR ELEVATION	DOOR
DTL SHT INTERIOR ELEVATION	DETAIL REFERENCE
FLOOR PLAN NOTE	EQUIPMENT
MATCHLINE	WINDOW TYPE
ONE HOUR RATED FIRE PARTITION	WALL PARTITION TYPE
TWO HOUR RATED FIRE BARRIER	FESR SEMI-RECESSED FIRE EXTINGUISHER CABINET
	FES SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

B. PLUMBING FIXTURES ARE SHOWN FOR REFERENCE ONLY. REFER TO DESIGN BUILD PLUMBING DRAWINGS FOR SPECIFIC FIXTURE TYPE AND SIZES.

GYPSUM BOARD PARTITIONS GENERAL NOTES

A. ALL GYPSUM BOARD PARTITIONS SHALL BE (EF) UNLESS OTHERWISE NOTED ON FLOOR PLAN.

B. GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

C. REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

D. PROVIDE FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

E. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

F. EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF DECK ABOVE.

MASONRY PARTITIONS GENERAL NOTES

A. MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN: [Hatch Pattern]

B. ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.

C. PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.

D. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

E. EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL [Detail Ref] PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

FLOOR PLAN NOTES

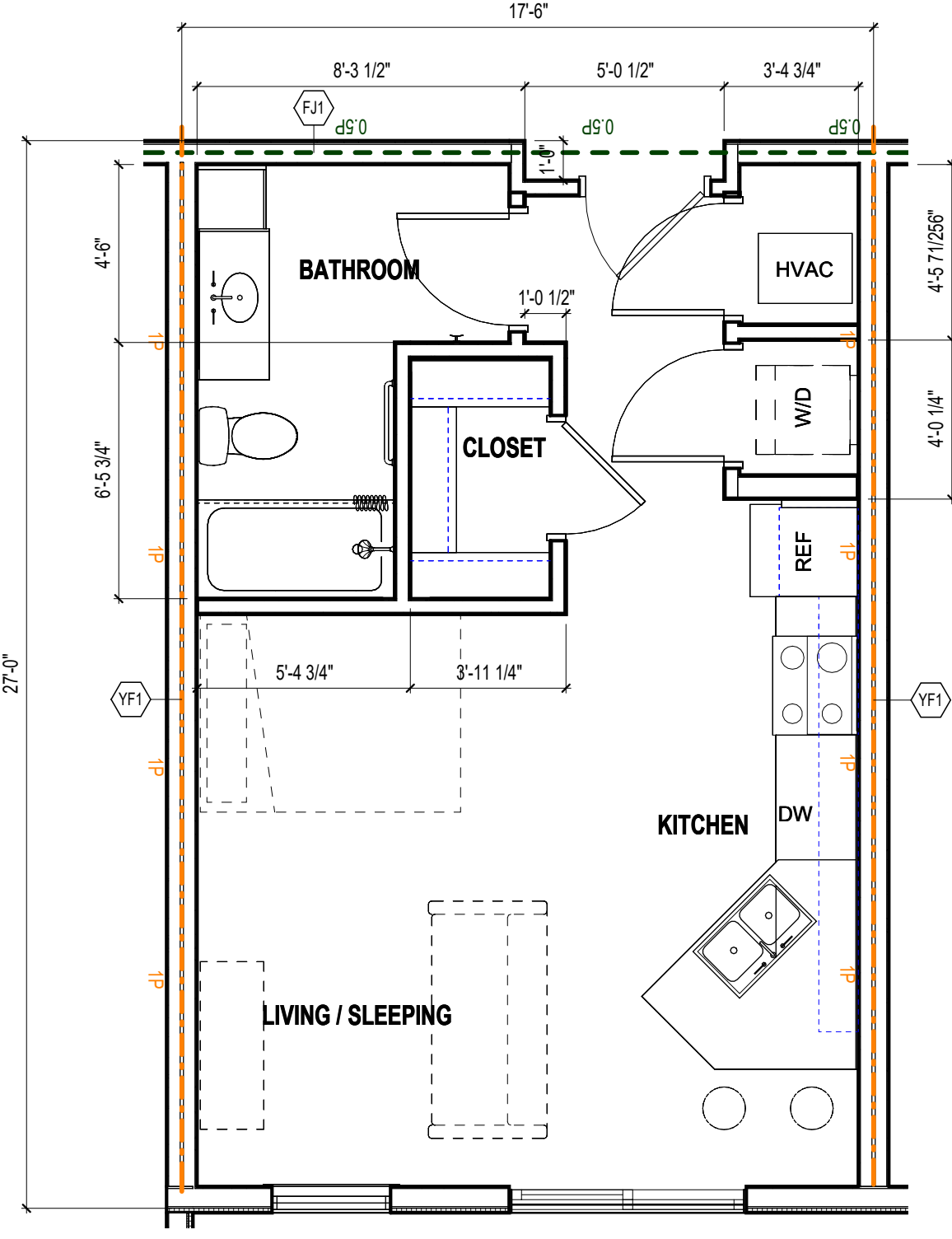
MARK	DESCRIPTION
201	COILING SMOKE CONTROL CURTAIN
203	SHIPS LADDER

EXTERIOR WALL TYPES

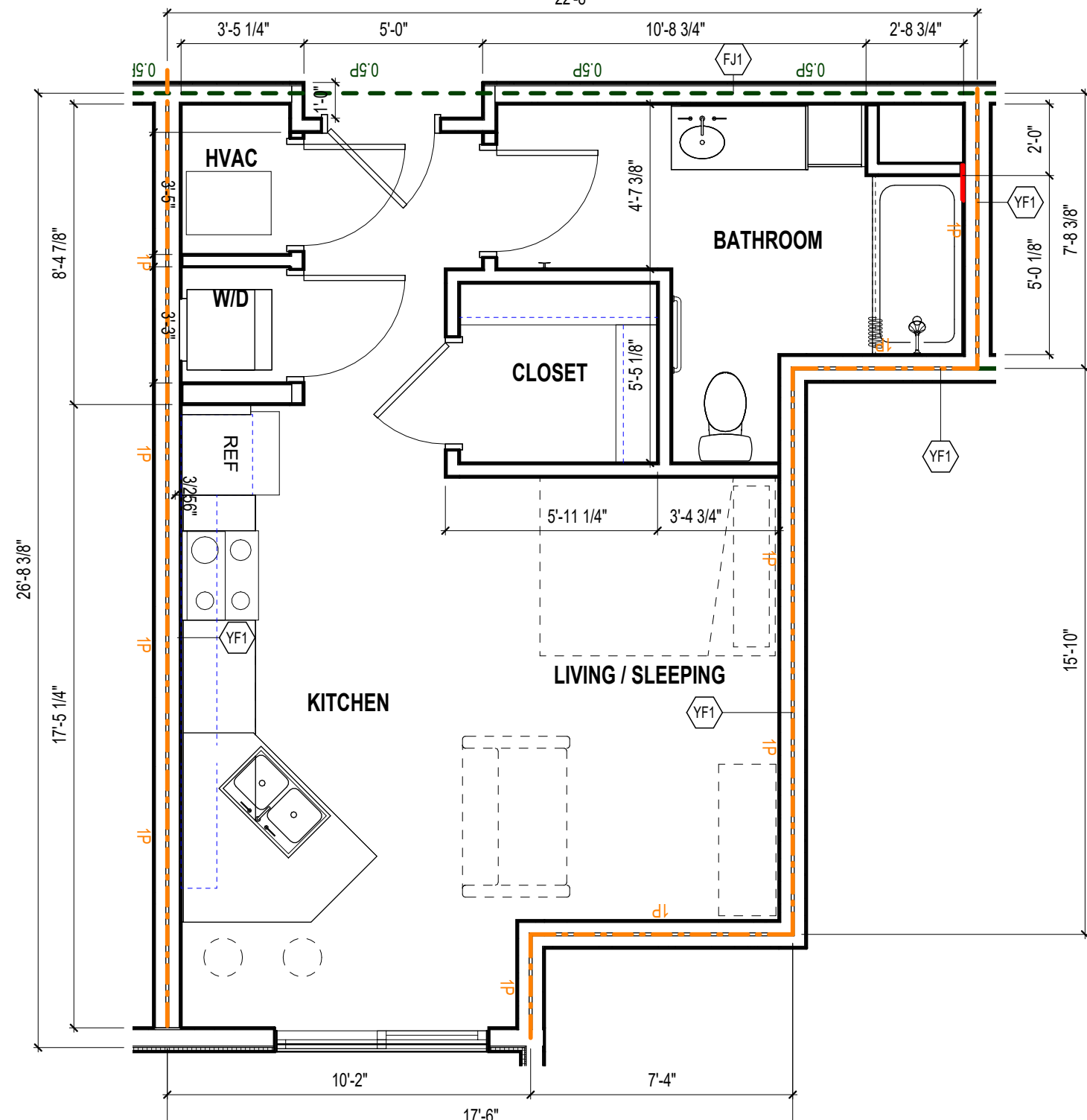
MARK	ASSEMBLY DESCRIPTION
1A1	MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK (EDIT FOR OTHER MATERIALS), AIR SPACE, 3" RIGID INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 1/2" EXTERIOR GYPSUM SHEATHING, GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY. CAVITY DRAINAGE MATERIAL, FLASHING, MASONRY EXPANSION AND CONTROL JOINTS. PROVIDE CAVITY WEEPSVENTS @ 24" OC. COMPARTMENTALIZE THE CAVITY AND PROVIDE CAVITY WEEPSVENTS AT TOP AND BOTTOM OF CAVITY. REFER TO DETAIL XXAXXX.
1D1	FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT PANEL, WEATHER BARRIER/ DRAINAGE FLANGE, 3" NAIL BASE INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 1/2" EXTERIOR GYPSUM SHEATHING, 6" GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
1H1	PANEL WALL SYSTEM CONSISTING OF XX" ARCHITECTURAL PRECAST CONCRETE PANEL, 1" SPRAY APPLIED INSULATION, 1" FIRE BARRIER, 3/4" AIR SPACE, 3-5/8" GALVANIZED COLD FORMED STEEL STUDS @ 16" OC AND ONE LAYER 5/8" GYPSUM BOARD @ INTERIOR FACE.
2A1	MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK, AIR SPACE, WEATHER BARRIER, 1" CONTINUOUS RIGID INSULATION ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE W/STRUCTURAL), 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY. CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPSVENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. PROVIDE CAVITY WEEPSVENTS AT TOP AND BOTTOM OF CAVITY.
2D1	FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT PANEL ON 1/2" FURRING ON 1" RIGID INSULATION, WEATHER BARRIER ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE W/STRUCTURAL), 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
2D2	FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT LAP SIDING ON 1/2" FURRING, 1" RIGID INSULATION, WEATHER BARRIER ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE W/STRUCTURAL), 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
3K1	INSULATED ARCHITECTURAL PRECAST CONCRETE WALL PANEL SYSTEM CONSISTING OF 16" STRUCTURAL PANEL, 3" RIGID INSULATION (EDIT FOR THICKNESS) AND XX" PATTERNED CONCRETE EXTERIOR FACE (EDIT FOR PATTERN: SMOOTH, RIBBED, RAKED, RANDOM, ETC.) WITH EXPOSED LIMESTONE AGGREGATE AT EXTERIOR FACE (EDIT FOR FINISH)

INTERIOR PARTITION TYPES

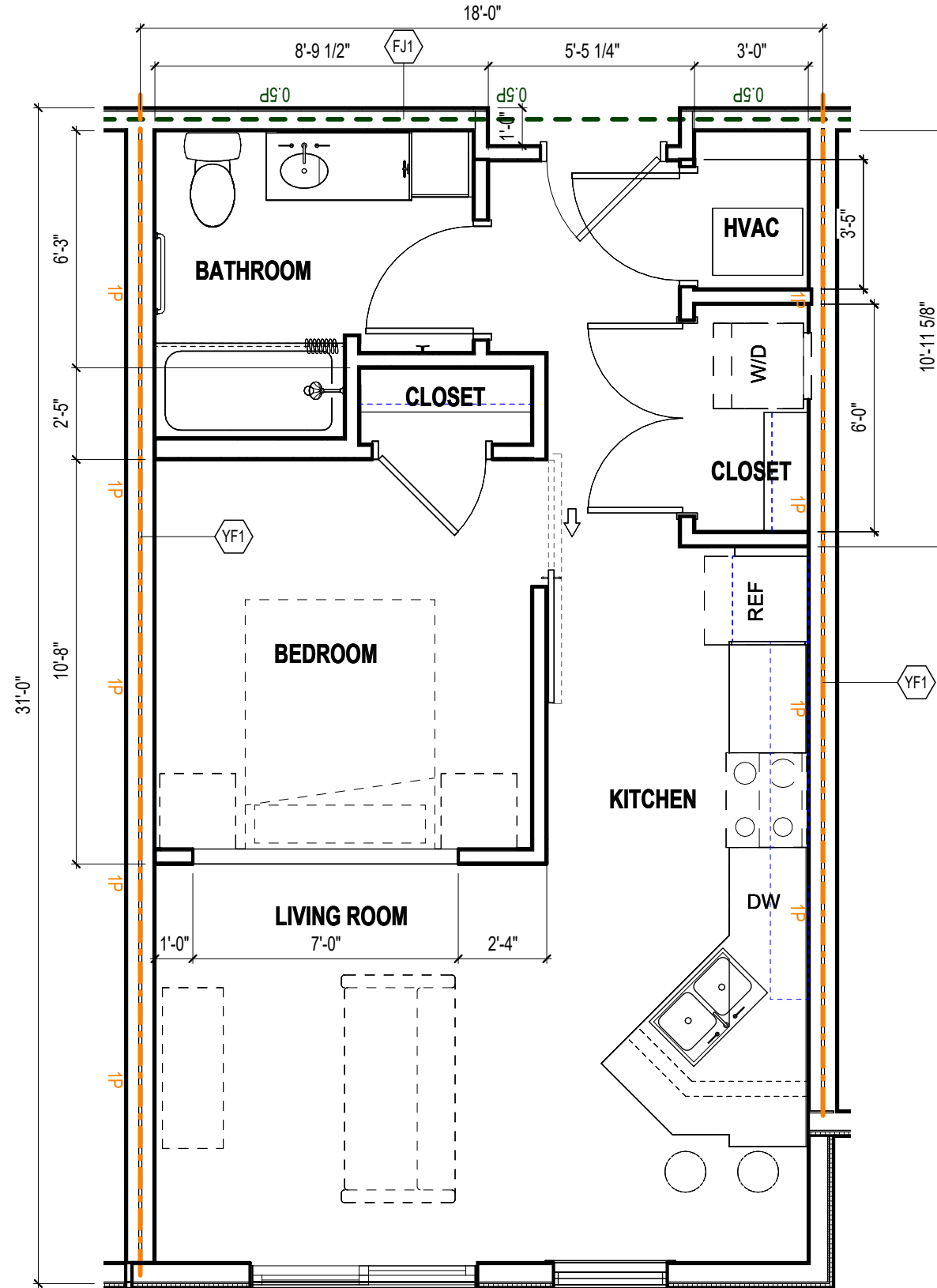
MARK	ASSEMBLY DESCRIPTION	FIRE RATING	UL	INSULATION
DF0	2 x 4 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	-	-	-
DF1	2 x 4 WOOD STUDS @ 16" OC 1 LAYER 5/8" GYPSUM BOARD @ EACH FACE	1 HR	US05	-
DJ0	2 x 6 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	-	-	-
DJ2	2 x 6 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	2 HR	US01	-
EJ0	2 x 4 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	-	-	3-1/2" SOUND
EJ2	2 x 6 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	2 HR	US08	5-1/2" MINERAL WOOL BATT
FJ1	2 x 6 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC (CORR SIDE ONLY).	1 HR	-	5-1/2" SOUND
JF0	2 x 4 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD.	-	-	-
QE2	2-1/2" STEEL C-H STUDS @ 24" OC ONE LAYER 1" GYPSUM BOARD LINER PANEL @ INTERIOR FACE 2 LAYERS 1/2" GYPSUM BOARD @ EXTERIOR FACE	2 HR	(U415 B)	-
QF2	3-1/2" WOOD STUDS @ 16" OC, 1 LAYER GYPSUM BOARD @ OUTSIDE FACE, 3/4" AIRSPACE, 2 LAYERS 1" GYPSUM BOARD LINER PANEL, 3/4" AIRSPACE, 3-1/2" WOOD STUDS @ 16" OC, 1 LAYER GYPSUM BOARD @ OUTSIDE FACE. WALL TO BE CONTINUOUS TO INSIDE FACE OF EXTERIOR WALL SHEATHING AND TO UNDERSIDE OF FLOOR/ROOF SHEATHING.	2 HR	US38	-
SN1	8" CONCRETE MASONRY UNITS	1 HR	-	-
YF1	DEMISING WALL CONSISTING OF (2) 2 x 4 WOOD STUDS @ 16" OC WITH 1" AIR SPACE BETWEEN STUDS AND ONE LAYER 5/8" GYPSUM BOARD @ EACH OUTSIDE FACE	1 HR	US40	3-1/2" MINERAL WOOL BATT (BOTH SIDES)



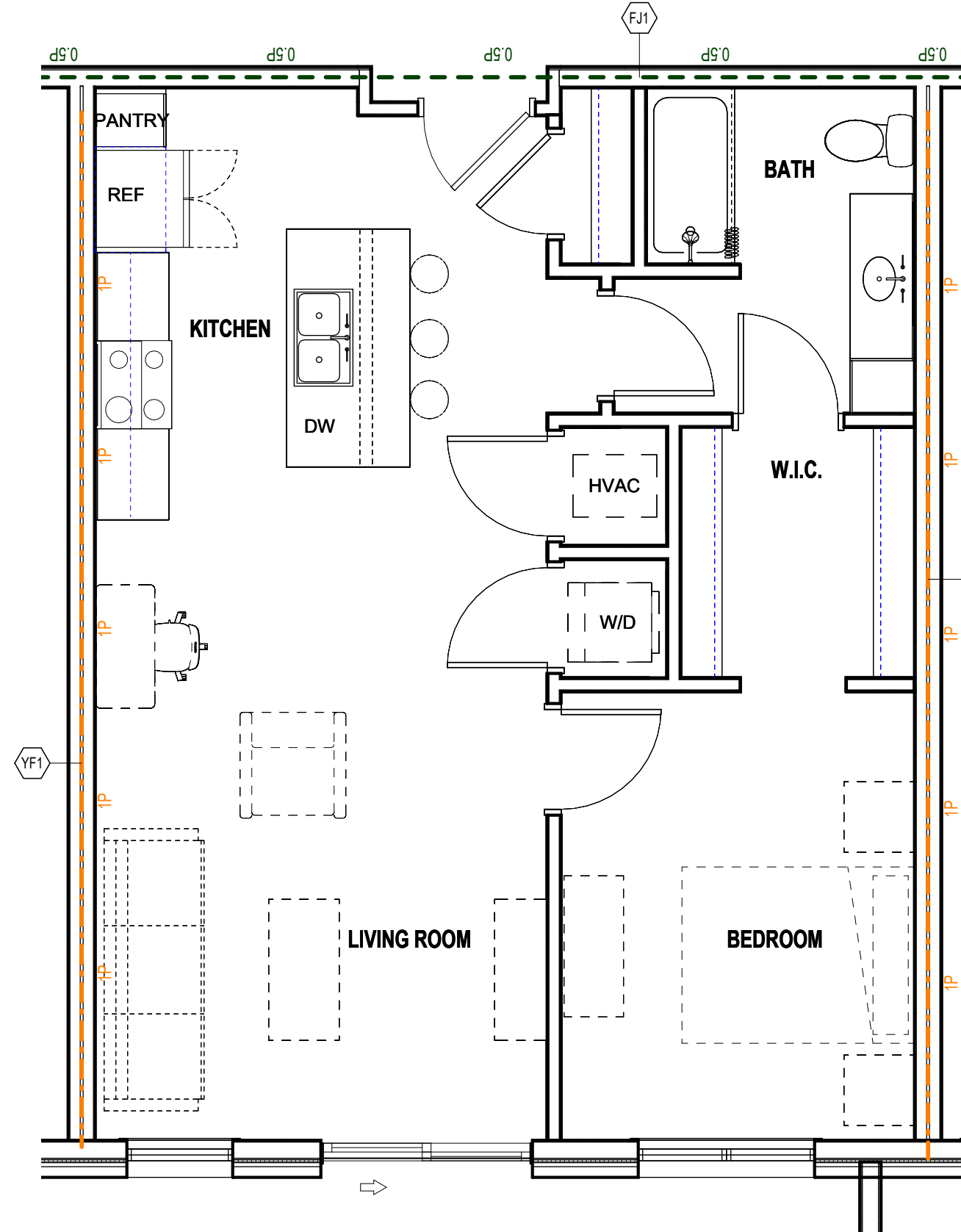
5 STUDIO A 451 SF (APPROX.)
1/4" = 1'-0"



6 STUDIO B 441 SF (APPROX.)
1/4" = 1'-0"



1 JR 1 BED A 537 SF (APPROX.)
1/4" = 1'-0"



2 1 BED A 718 SF (APPROX.)
1/4" = 1'-0"

6 FLOOR PLAN SYMBOLS LEGEND

- SECTION REFERENCE
- DTL EXTERIOR ELEVATION
- DTL INTERIOR ELEVATION
- FLOOR PLAN NOTE
- MATCHLINE
- ONE HOUR RATED FIRE PARTITION
- TWO HOUR RATED FIRE BARRIER
- WALL PARTITION
- DOOR
- DETAIL REFERENCE
- EQUIPMENT
- WINDOW TYPE
- WALL PARTITION TYPE
- SEMI-RECESSED FIRE EXTINGUISHER CABINET
- SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

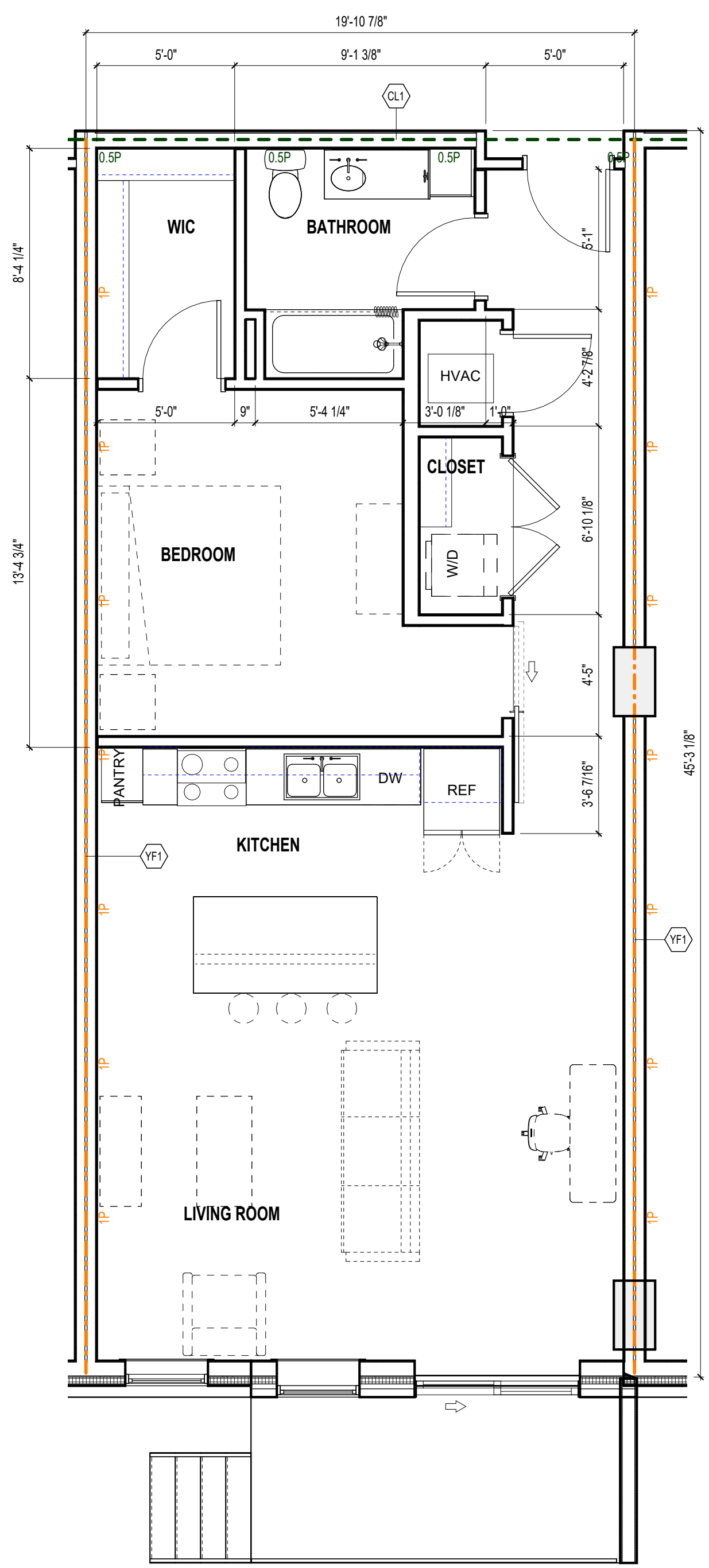
- A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL, (NOMINAL).
- B. PLUMBING FIXTURES ARE SHOWN FOR REFERENCE ONLY. REFER TO DESIGN BUILD PLUMBING DRAWINGS FOR SPECIFIC FIXTURE TYPE AND SIZES.

INTERIOR PARTITION TYPES

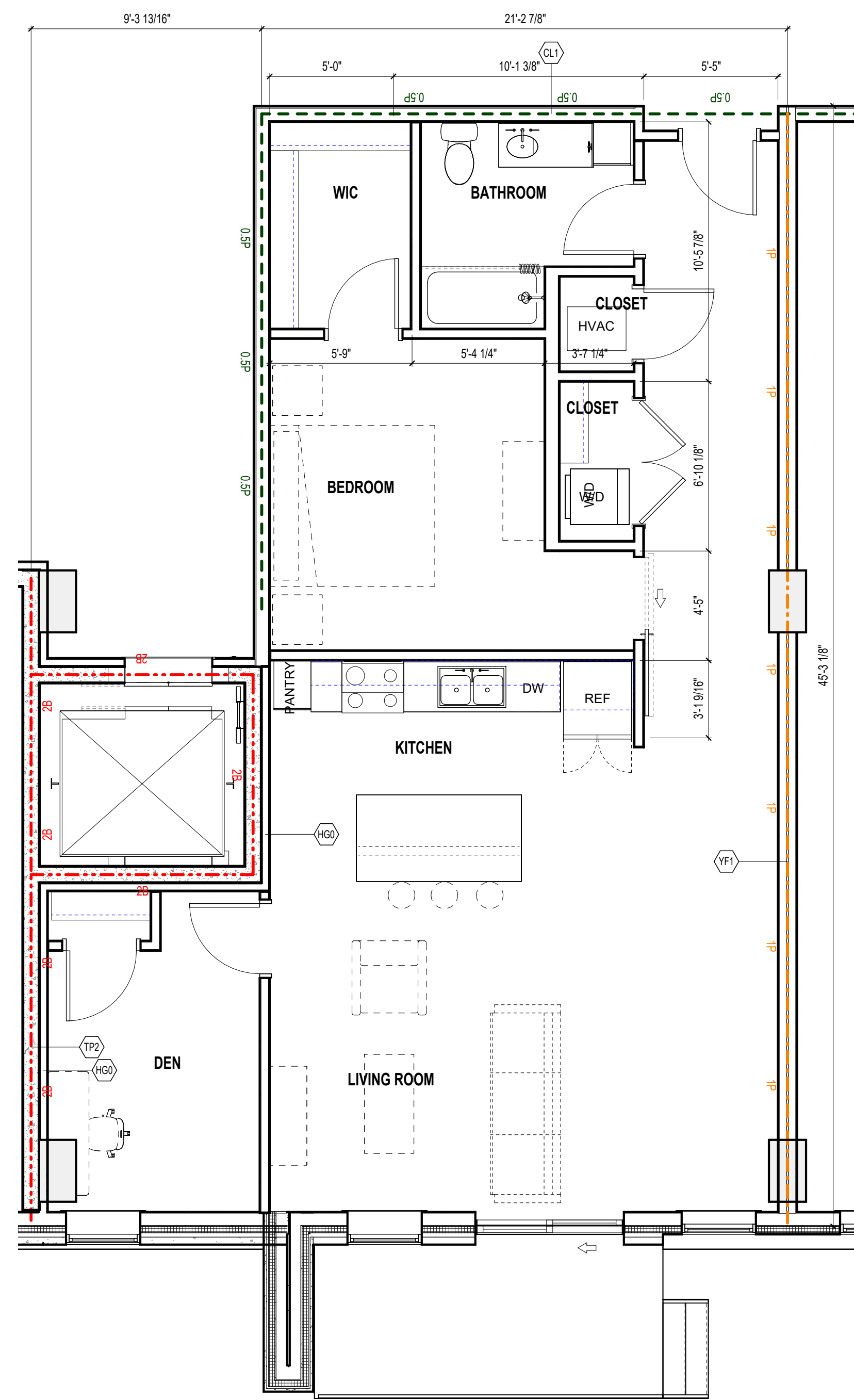
MARK	ASSEMBLY DESCRIPTION	FIRE RATING	UL	INSULATION
BG1	3/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	1 HR	U419	3" MINERAL WOOL BATT
BL0	6" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	-	-	FULL WIDTH SOUND
CL1	6" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC (CORR SIDE ONLY).	1 HR	-	FULL WIDTH SOUND
DF1	2 x 4 WOOD STUDS @ 16" OC 1 LAYER 5/8" GYPSUM BOARD @ EACH FACE.	1 HR	U305	-
EF1	2 x 4 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	1 HR	U305	3" MINERAL WOOL BATT
FJ1	2 x 4 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC (CORR SIDE ONLY).	1 HR	-	5-1/2" SOUND
H30	3/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD INSULATION SUPPORT WIRE (ON CHASE SIDE)	-	-	3-1/2" THERMAL
TP2	6" PRECAST CONCRETE	2 HR	-	-
YP1	DEMISING WALL CONSISTING OF (2) 2 x 4 WOOD STUDS @ 16" OC WITH 1" AIR SPACE BETWEEN STUDS AND ONE LAYER 5/8" GYPSUM BOARD @ EACH OUTSIDE FACE.	1 HR	U340	3-1/2" MINERAL WOOL BATT (BOTH SIDES)
YF1	DEMISING WALL CONSISTING OF (2) 2 x 4 WOOD STUDS @ 16" OC WITH 1" AIR SPACE BETWEEN STUDS AND ONE LAYER 5/8" GYPSUM BOARD @ EACH OUTSIDE FACE.	1 HR	U340	3-1/2" MINERAL WOOL BATT (BOTH SIDES)

UNIT MIX

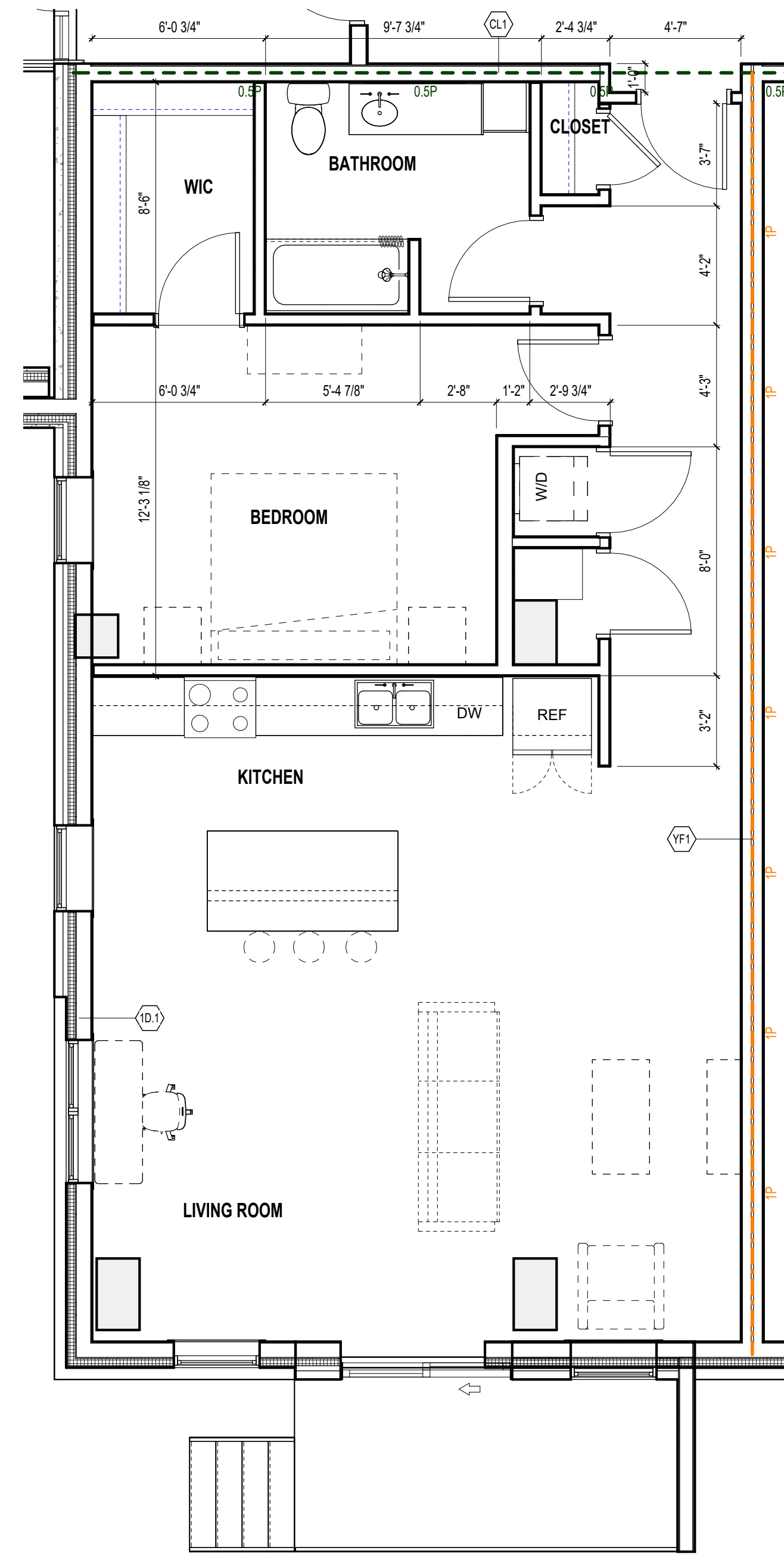
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1 BED DEN UNIT	
1 BED DEN A	8
1 BED DEN B	6
1 BED DEN C	4
1 BED DEN D	2
	20
1 BED UNIT	
1 BED A	41
1 BED B	2
1 BED C	1
2 BED A	4
2 BED UNIT	48
1 BED A	3
2 BED A	31
2 BED B	14
2 BED C	48
3 BED UNIT	
3 BED A	3
3 BED B	3
3 BED C	6
JUNIOR 1 BED UNIT	
JR 1 BED A	13
JR 1 BED B	4
JR 1 BED C	1
STUDIO UNIT	18
STUDIO A	10
STUDIO B	8
	18
TOTAL	158



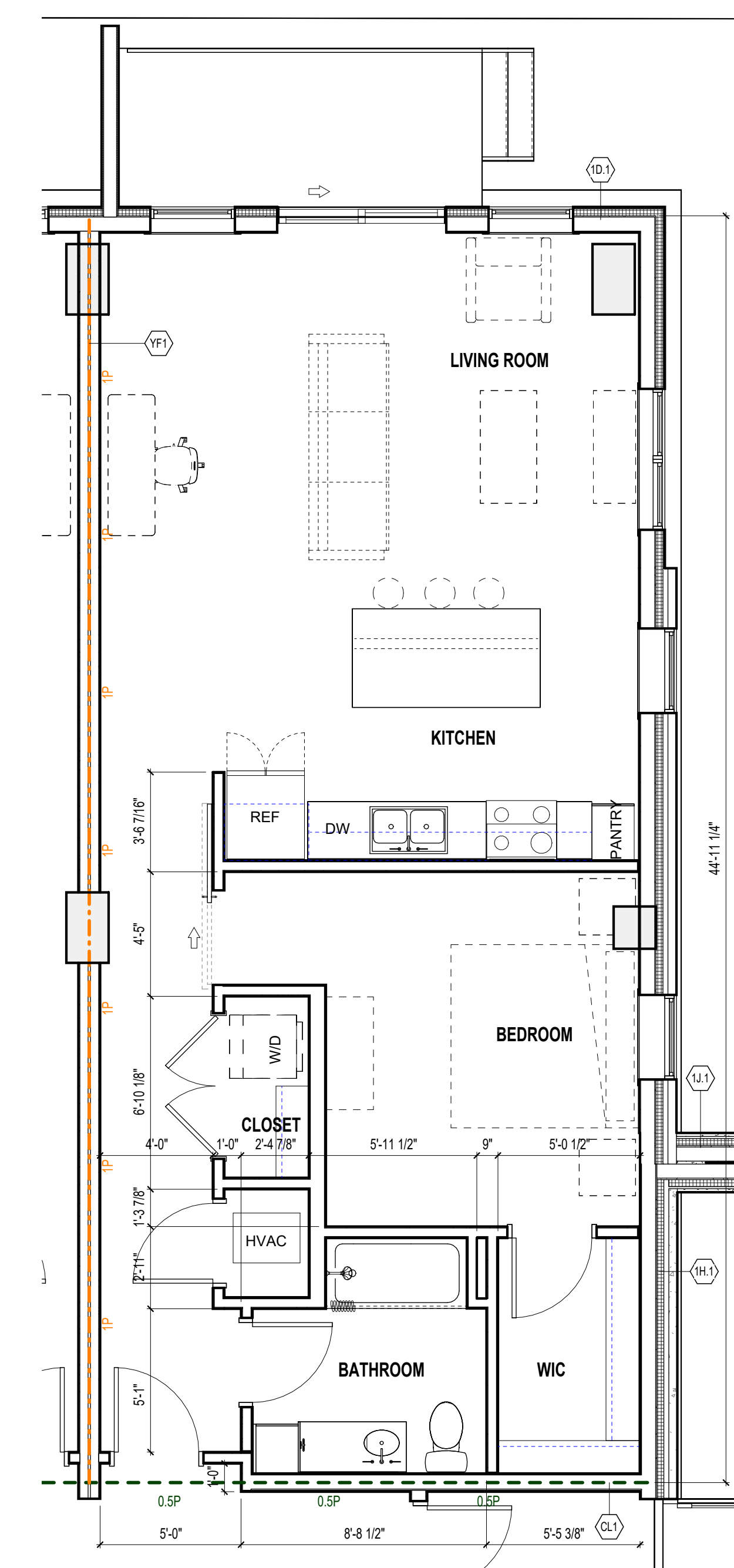
7 JR 1 BED B 877 SF (APPROX.)
1/4" = 1'-0"



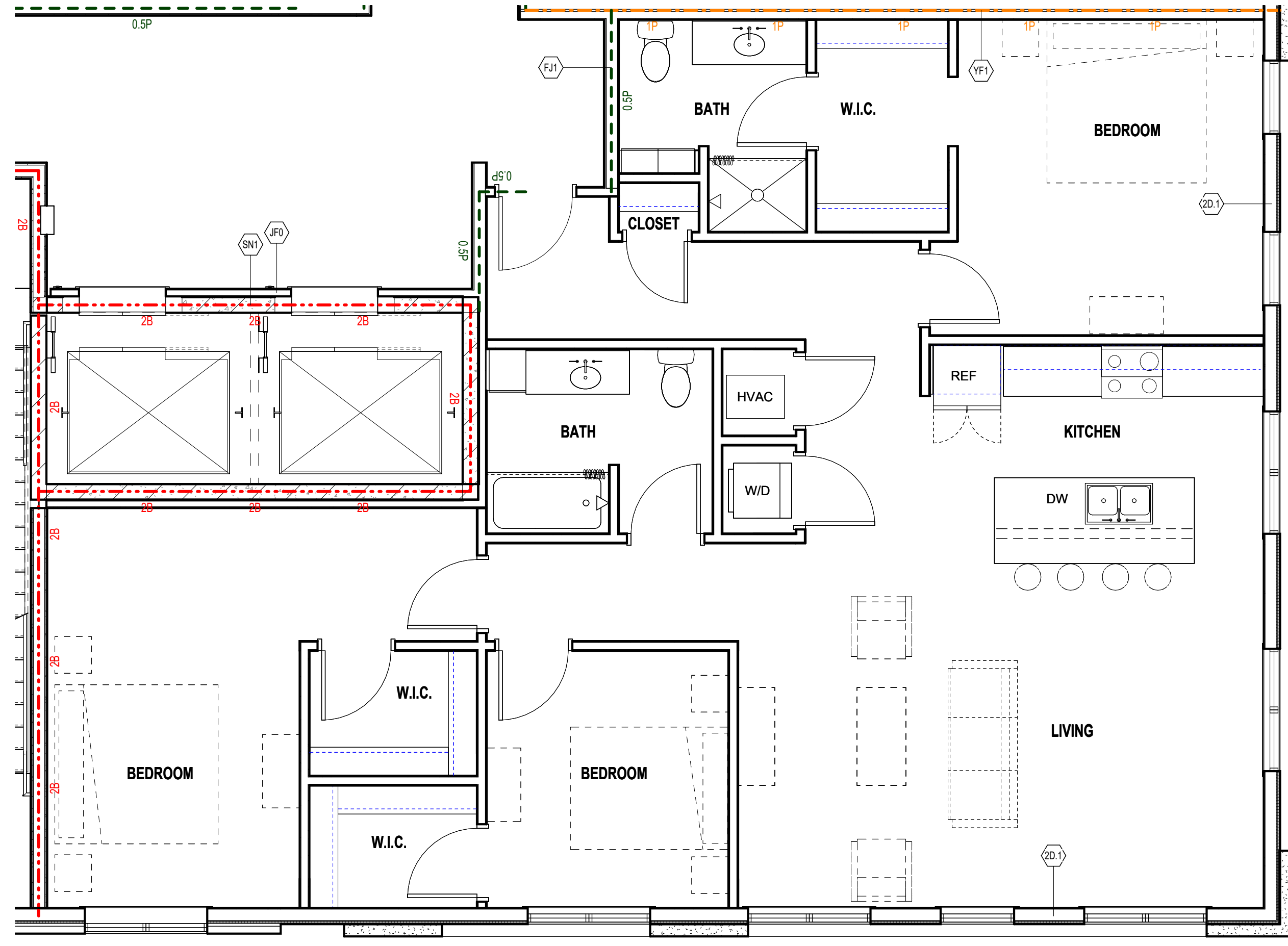
3 JR 1 BED C 1,062 SF (APPROX.)
1/4" = 1'-0"



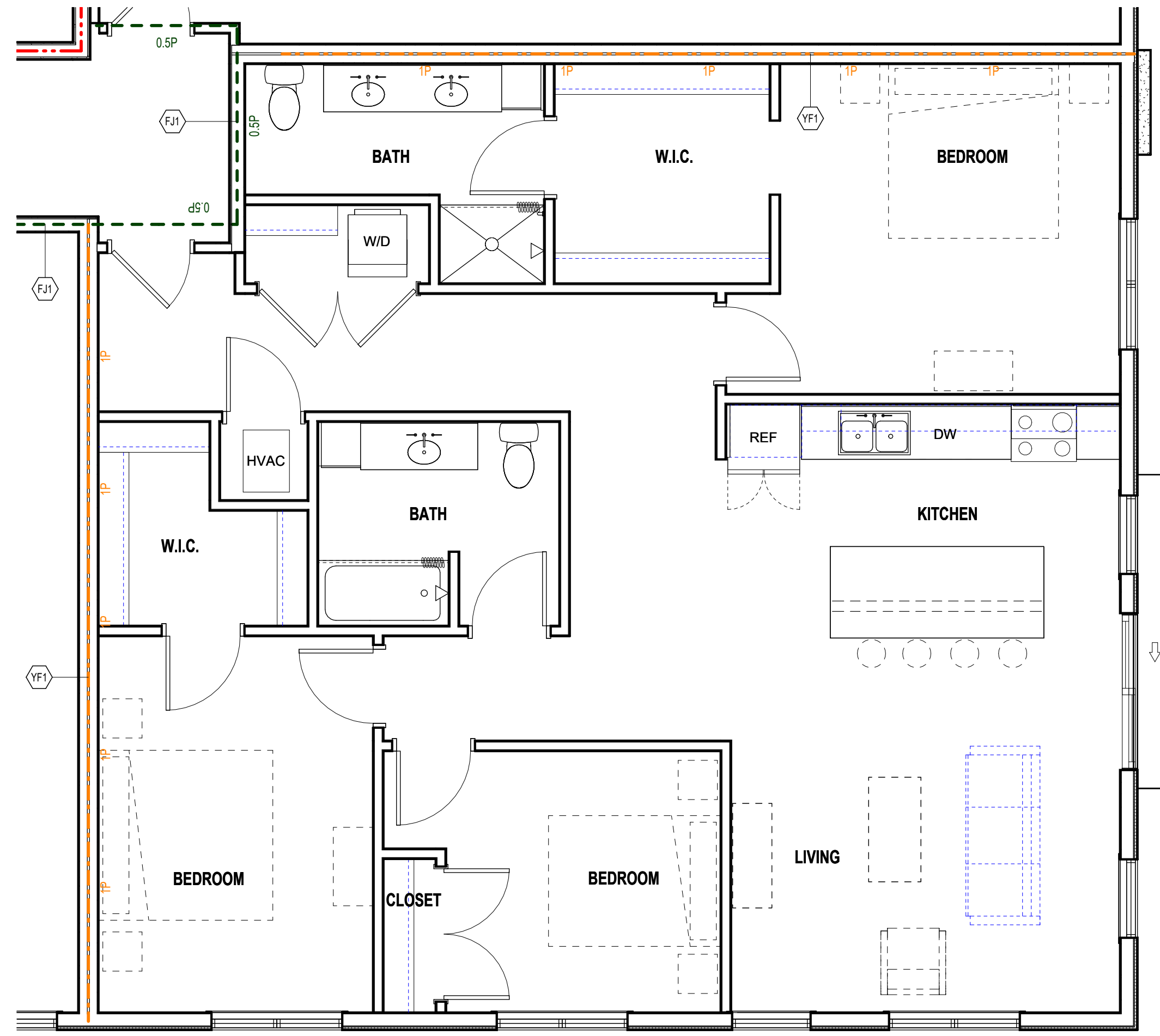
8 1 BED B 1036 SF (APPROX.)
1/4" = 1'-0"



4 1 BED C 859 SF (APPROX.)
1/4" = 1'-0"



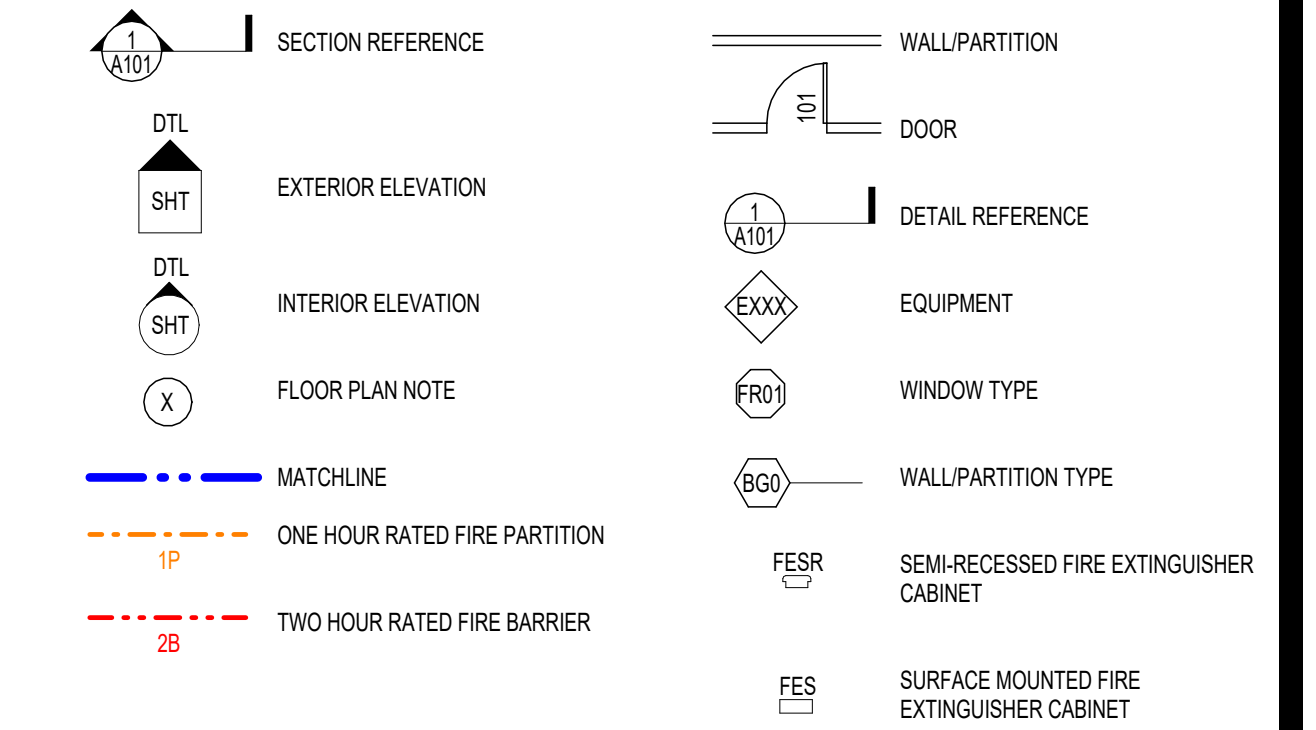
1 3 BED A
1,417 SF (APPROX.)
1/4" = 1'-0"



3 3 BED B
1,404 SF (APPROX.)
1/4" = 1'-0"

UNIT MIX	
ROOM NAME	Count
1 BED DEN UNIT	
1 BED DEN A	8
1 BED DEN B	6
1 BED DEN C	4
1 BED DEN D	2
	20
1 BED UNIT	48
1 BED A	41
1 BED B	2
1 BED C	1
1 BED D	4
2 BED UNIT	48
2 BED A	3
2 BED B	31
2 BED B	14
	48
3 BED UNIT	6
3 BED A	3
3 BED B	3
	6
JUNIOR 1 BED UNIT	13
JR 1 BED A	4
JR 1 BED B	4
JR 1 BED C	1
	18
STUDIO UNIT	10
STUDIO A	8
STUDIO B	2
	18
TOTAL	158

6 FLOOR PLAN SYMBOLS LEGEND



FLOOR PLAN GENERAL NOTES

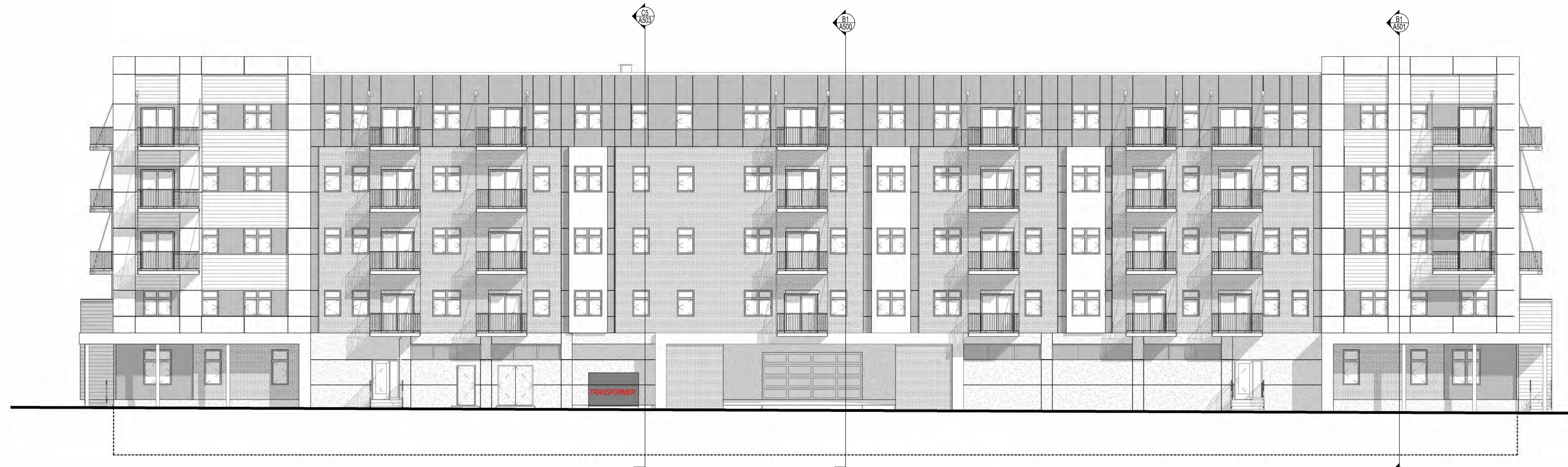
A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL, (NOMINAL).
B. PLUMBING FIXTURES ARE SHOWN FOR REFERENCE ONLY. REFER TO DESIGN BUILD PLUMBING DRAWINGS FOR SPECIFIC FIXTURE TYPE AND SIZES.

INTERIOR PARTITION TYPES

MARK	ASSEMBLY DESCRIPTION	FIRE RATING	UL	INSULATION
DF1	2 x 4 WOOD STUDS @ 16" OC 1 LAYER 5/8" GYPSUM BOARD @ EACH FACE	1 HR	US05	--
DJ2	2 x 6 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE	2 HR	US01	--
FJ1	2 x 6 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC (CORR SIDE ONLY)	1 HR	--	5-1/2" SOUND
JF0	2 x 4 WOOD STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD	--	--	--
SN1	8" CONCRETE MASONRY UNITS	1 HR	--	--
TP2	8" PRECAST CONCRETE	2 HR	--	--
YF1	DEMISING WALL CONSISTING OF (2) 2 x 4 WOOD STUDS @ 16" OC WITH 1" AIR SPACE BETWEEN STUDS AND ONE LAYER 5/8" GYPSUM BOARD @ EACH OUTSIDE FACE	1 HR	US40	3-1/2" MINERAL WOOL BATT (BOTH SIDES)



B2 NORTH ELEVATION
332' x 1'-0"



C2 WEST ELEVATION
332' x 1'-0"



E2 SOUTH ELEVATION
332' x 1'-0"

EXTERIOR ELEVATIONS SYMBOLS LEGEND

- SECTION REFERENCE
- ELEVATION NOTE
- DETAIL REFERENCE
- WINDOW TYPE
- CONSTRUCTION KEYNOTE

EXTERIOR FINISH PATTERNS

- PRECAST
- BRICK
- FIBER CEMENT PANEL
- FIBER CEMENT PANEL
- FIBER CEMENT PANEL
- FIBER CEMENT LAP SIDING - WOOD
- FIBER CEMENT PANEL

EXTERIOR ELEVATIONS GENERAL NOTES

- A. PAINT ALL EXPOSED STEEL LINTELS TO MATCH ADJACENT MASONRY COLOR.
- B. TRIM ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, HOSE BIBBS AND ALL OTHER SIDING PENETRATIONS WITH 1X4 FIBER CEMENT TRIM (TYP.)
- C. REFER TO SHEET FOR WINDOW FRAME ELEVATIONS.
- D. SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES.
- E. PROVIDE CONTROL JOINTS AS SHOWN ON ELEVATIONS AND AT ALL INSIDE CORNERS.

EXTERIOR ELEVATION NOTES	
MARK	DESCRIPTION

143.552.8428
1.888.240.9900
2310 CROOKWOOD DRIVE, SUITE 2000, MADISON, WISCONSIN 53718
1.608.448.8945
1979 MAIN STREET, SUITE 201, LAKEVIEW, FLORIDA 32836
311 CAMPBELL AVENUE, SUITE 200, MIAMI, FLORIDA 33136

prad
PLUNKETT RAYSICH
ARCHITECTS, LLP

BLOCK I
KENOSHA HARBOR DISTRICT
1500 7TH AVE, KENOSHA, WI 53140

REVISIONS:

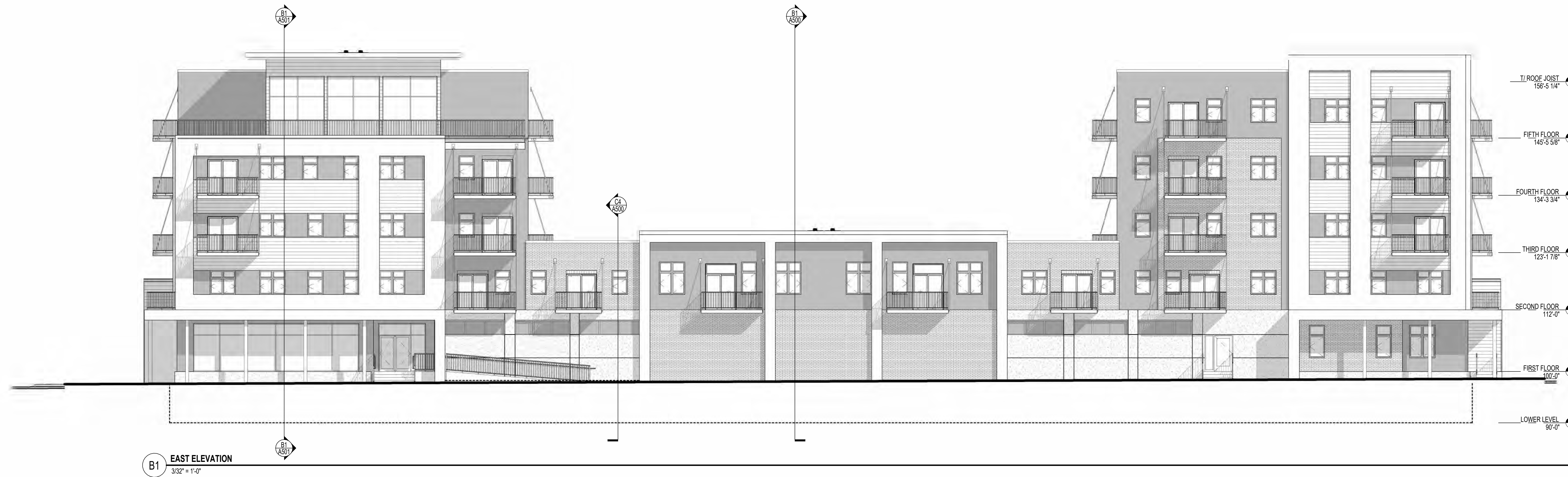
D

EXTERIOR ELEVATIONS

GMP SET
BID PACKAGE
DATE: 3-15-24
JOB NO: 230251-01
SHEET NO:

NOT FOR CONSTRUCTION
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A400



EXTERIOR ELEVATIONS SYMBOLS LEGEND

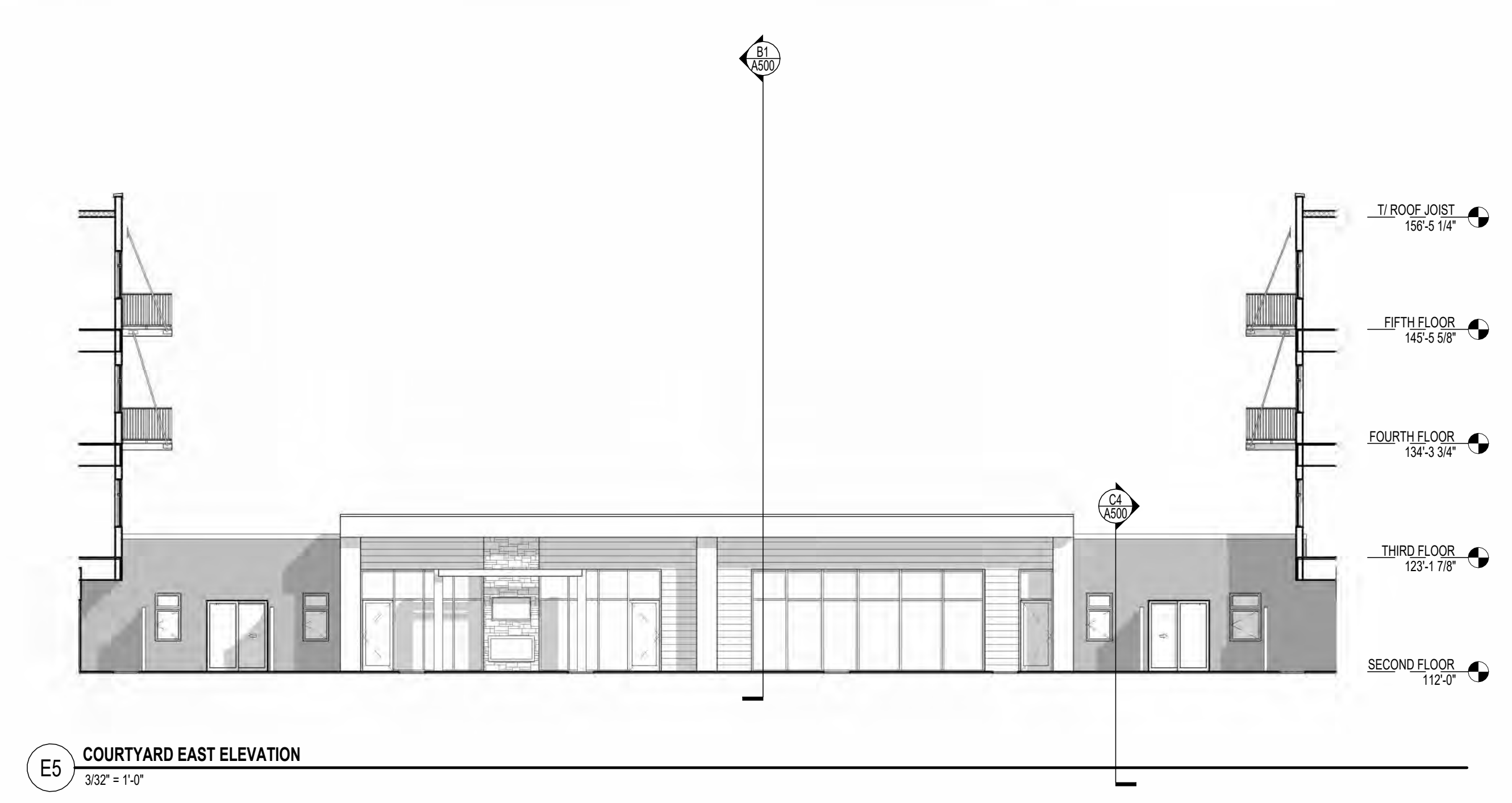
	SECTION REFERENCE		DETAIL REFERENCE
	ELEVATION NOTE		WINDOW TYPE
			CONSTRUCTION KEYNOTE

EXTERIOR FINISH PATTERNS

	PRECAST		FIBER CEMENT LAP SIDING - WOOD
	BRICK		FIBER CEMENT PANEL
	FIBER CEMENT PANEL		
	FIBER CEMENT PANEL		

- EXTERIOR ELEVATIONS GENERAL NOTES**
- PAIN ALL EXPOSED STEEL LINTELS TO MATCH ADJACENT MASONRY COLOR
 - TRIM ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, HOSE BIBBS AND ALL OTHER SIDING PENETRATIONS WITH 1X4 FIBER CEMENT TRIM (TYP.)
 - REFER TO SHEET FOR WINDOW FRAME ELEVATIONS
 - SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES.
 - PROVIDE CONTROL JOINTS AS SHOWN ON ELEVATIONS AND AT ALL INSIDE CORNERS

EXTERIOR ELEVATION NOTES	
MARK	DESCRIPTION







A NORTH ELEVATION COLOR
1" = 20'-0"



B EAST ELEVATION COLOR
1" = 20'-0"

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C SOUTH ELEVATION COLOR
1" = 20'-0"



D WEST ELEVATION COLOR
1" = 20'-0"

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FIBER CEMENT PANELS
UP TO 48"X120"



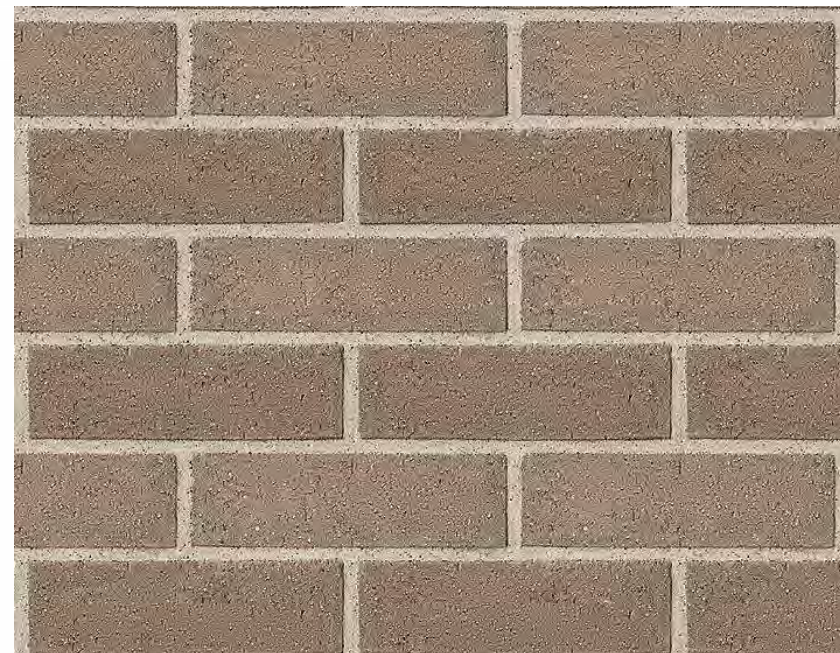
8" FIBER CEMENT LAP SIDING WITH
WOOD LOOK FINISH



FIBER CEMENT PANELS
UP TO 48"X120"



PRECAST PANEL WITH LIGHT SAND
BLAST FINISH



MODULAR BRICK

Exterior Design

The building facades are broken up with a mix of exterior materials that provide a variety of textures and colors. The fiber cement will be a mix of large panels and lap siding in different, neutral colors. The brick is a smaller scale texture and provides a thicker profile than to fiber cement to create depth along the facade. Finally, the precast panels provide a strong base to building. The large precast panels are broken up by reveals to create a rhythm along the base. The building also utilizes box bay windows and frame elements at the corners to provide additional depth to the facade. The sophisticated color pallet gives the building a timeless feel.



CITY PLAN COMMISSION
Staff Report – Item #5

Thursday, April 18, 2024 at 5:00 pm
Municipal Building
625 52nd Street – Room 202 – Kenosha, WI 53140

Resolution by the Mayor – To Amend Condition #8 of Resolution #140-23 to grant a six-month extension for the recording of a two-lot Certified Survey Map for property at 6209 28th Avenue. (JRC Specialty Leasing, LLC) (District 12)

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Alderson Dyson, District 12, has been notified. This item will also be reviewed by the Public Works Committee before final approval by the Common Council.

LOCATION AND ANALYSIS:

Site: 6209 28th Avenue

1. On October 2, 2023, the Common Council approved a two-lot Certified Survey Map (CSM) for property at 6209 28th Avenue. A condition of the approval was that all of the Conditions of Approval must be satisfied and the CSM must be recorded in six (6) months.
2. The applicant submitted the attached request to amend the Conditions of Approval to allow for an additional six (6) months to address the Conditions of Approval and record the CSM.
3. All of the original Conditions of Approval still apply. Since the Common Council approval, the applicant has received approval of a required variance from the Board of Zoning Appeals and has nearly completed the required work to provide a fire separation between the two buildings. The applicant just needs more time to satisfy the final minor conditions.

RECOMMENDATION:

A recommendation is made to approve the six month extension, subject to the original Resolution.

Brian Wilke, AICP, Development Coordinator

Rich Schroeder, Deputy Director

RESOLUTION ____ - 24

BY: THE MAYOR

**TO AMEND RESOLUTION #140-23 REGARDING
A TWO-LOT CERTIFIED SURVEY MAP
Property at 6209 28th Avenue (JRC Specialty Leasing, LLC)**

WHEREAS, The Common Council of the City of Kenosha, Wisconsin, previously approved Resolution #140-23 regarding an Two-Lot Certified Survey Map for property at the 6209 28th Avenue; and

WHEREAS, the owner of property is unable to record the Certified Survey Map within the original six (6) month time period as required by Condition of Approval #8 and has requested a six (6) month extension;

BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that Condition #8 of Resolution #140-23 be amended to read that “The Certified Survey Map shall be null and void if not recorded by October 2, 2024.”

Adopted this _____ day of _____, 2024

ATTEST:

Michelle Nelson, City Clerk-Treasurer

APPROVE:

David F. Bogdala, Mayor

RESOLUTION # 140 - 23


BY: THE MAYOR

**A TWO-LOT CERTIFIED SURVEY MAP
Property at 6209 28th Avenue (JRC Special Leasing, LLC)**

BE IT RESOLVED by the Common Council of the City of Kenosha, Wisconsin, that a Certified Survey Map relating to two parcels at 6209 28th Avenue is herein and hereby approved subject to the following conditions:

1. Compliance with all applicable State and City Codes and Ordinances.
2. Payment of all applicable fees, including recording fees, by the applicant.
3. Payment of all Storm Water Utility fees, unpaid taxes and unpaid Special Assessments prior to recording.
4. A Zoning Variance from the Board of Zoning Appeals must be approved for proposed Lot 2 which does not meet the minimum twenty-five foot (25') rear yard setback of Section 3.14 F.3.a. of the Zoning Ordinance.
5. Separation between buildings on Lot 1 and Lot 2 must be provided in compliance with Section 3104 of the 2015 International Building Code. Confirmation in writing from a Registered Architect must be received confirming that the building separation complies with the 2015 International Building Code before the Certified Survey Map can be recorded. If an alteration is necessary for compliance with the Code, the property owner must obtain an Alteration Permit from the Department of City Inspections.
6. A digital copy of the Certified Survey Map, in GIS Shape File format, shall be provided to the City prior to recording.
7. Since there are no proposed or required public improvements, a Development Agreement, as required in Section 17.11 A. of the Code of General Ordinances, is hereby waived.
8. The Certified Survey Map shall be null and void if not recorded within six (6) months of approval by the Common Council.
9. Prior to recording of the Certified Survey Map, a Deed Restriction or Restrictive Covenant approved by the City Attorney shall be recorded with the Kenosha County Register of Deeds stating that the property shall remain fully taxable for ad valorem tax purposes, including, but not limited to, real and personal property taxes and will not be subject to any exemption or exception to taxation unless otherwise agreed to by the City. The Deed Restriction or Restrictive Covenant shall be recorded at the applicant's expense, shall run with the land and shall be enforceable by the City against the owner and the owner's successors, assigns, and successors in title, including any tenants.
10. Compliance with all the preceding conditions as a prerequisite for authorizing Mayor and City Clerk-Treasurer to sign the Certified Survey Map.

ATTEST:


Michelle Nelson, City Clerk-Treasurer

APPROVE:


John M. Antaramian, Mayor

DATED:

10/5/23

PASSED: **October 2, 2023**

DRAFTED BY: BRIAN WILKE, AICP, CITY DEVELOPMENT



Anthony Nudo
Anthony@LawMidwest.com

www.LawMidwest.com

April 1, 2024

VIA EMAIL ONLY

City of Kenosha
c/o Brian Wilke, Development Coordinator
625 52nd Street, Room 308
Kenosha, WI 53140

Re: Extension Request for Approved Zoning Board of Appeals Decision
JRC Specialty Leasing

Mr. Wilke:

As you know, the Zoning Board of Appeals voted to approve JRC Specialty Leasing's request on October 24, 2023, subject to various conditions. We have been working diligently to meet those conditions, but we will not be able to meet tomorrow's deadline to complete the items. We respectfully request an extension for up to 6 months to satisfy the conditions. Enclosed herewith is a check in the amount of \$125 for the review fee.

Sincerely,

TERRY & NUDO, LLC

Anthony Nudo

AN/klb
Enclosure

City of Kenosha

Vicinity Map
JRC Specialty Leasing, LLC
Certified Survey Map



Subject Property



0 150

Feet



This application and all plan review documents **must** be submitted through the City of Kenosha's online plan review portal:

kenosha.geocivix.com/secure/

APPLICATION FOR DEVELOPMENT
REVIEW Forms #CD301 thru #CD310
(rev. 5/21)

This page required with every application or the application will be deemed incomplete.

MAILING INFORMATION

NAME OF PROJECT: JRC SPECIALITY LEASING LLC - CERTIFIED SURVEY MAP

The property owner will receive all correspondence. The Applicant and Architect/Engineer will be copied on correspondence. Owner signature required.

Name and Address of Property Owner [Please print]:
JRC Specialty Leasing LLC
202 Oak Ln
Winthrop Harbor IL 60096-9407

Phone: 847-337-0166
 E-Mail*: caraddict59@att.net

Signature*: [Handwritten Signature]

Name and Address of Applicant (if other than Property Owner) [Please print]:
Attorney Anthony Nudo
600 S 2nd St Suite 320
Kenosha, WI 53140

Phone: 262-842-2838
 E-Mail*: Anthony@LawMidwest.com

Name and Address of Architect / Engineer [Please print]:
Mark R. Madsen P.E. / R.L.S.
1458 Horizon Blvd., Ste 200
Mt Pleasant WI 53406

Phone: 262-634-5588
 E-Mail*: mmadsen@nmbssc.net

PROJECT LOCATION

Location of Development (street address and / or parcel number): 6209 28th Ave / 01-122-01-131-010

TYPE OF LAND DEVELOPMENT

Check all that apply. Note: Additional information may be required within individual Sections.

<input checked="" type="checkbox"/> Certified Survey Map #CD301	Section 1	Page 3
<input checked="" type="checkbox"/> Concept Review (Land Division) #CD302	Section 2	Page 4
<input type="checkbox"/> Concept Review (Multi-Family Residential or Non-Residential) #CD303	Section 3	Page 5
<input checked="" type="checkbox"/> Conditional Use Permit #CD304	Section 4	Pages 6 & 7
<input checked="" type="checkbox"/> Developer's Agreement #CD305	Section 5	Page 8
<input checked="" type="checkbox"/> Final Plat #CD306	Section 6	Pages 9 & 10
<input checked="" type="checkbox"/> Lot Line Adjustment Survey #CD307	Section 7	Page 11
<input checked="" type="checkbox"/> Preliminary Plat #CD308	Section 8	Pages 12 & 13
<input checked="" type="checkbox"/> Rezoning #CD309	Section 9	Pages 14 & 15
<input checked="" type="checkbox"/> Site Plan Review #CD310	Section 10	Pages 16 & 17

Prior to submitting this Application to the Department of City Development, please review the appropriate sections for fees, requirements and appropriate appendices. Submit this cover page, completed application, applicable section(s) and appendices along with **ALL** required plans, information and fees to the address listed below.

*All applications for City Plan Commission / Common Council **must** include an email address and property owner signature. Staff report and agenda will be forwarded to the email address included in this application.

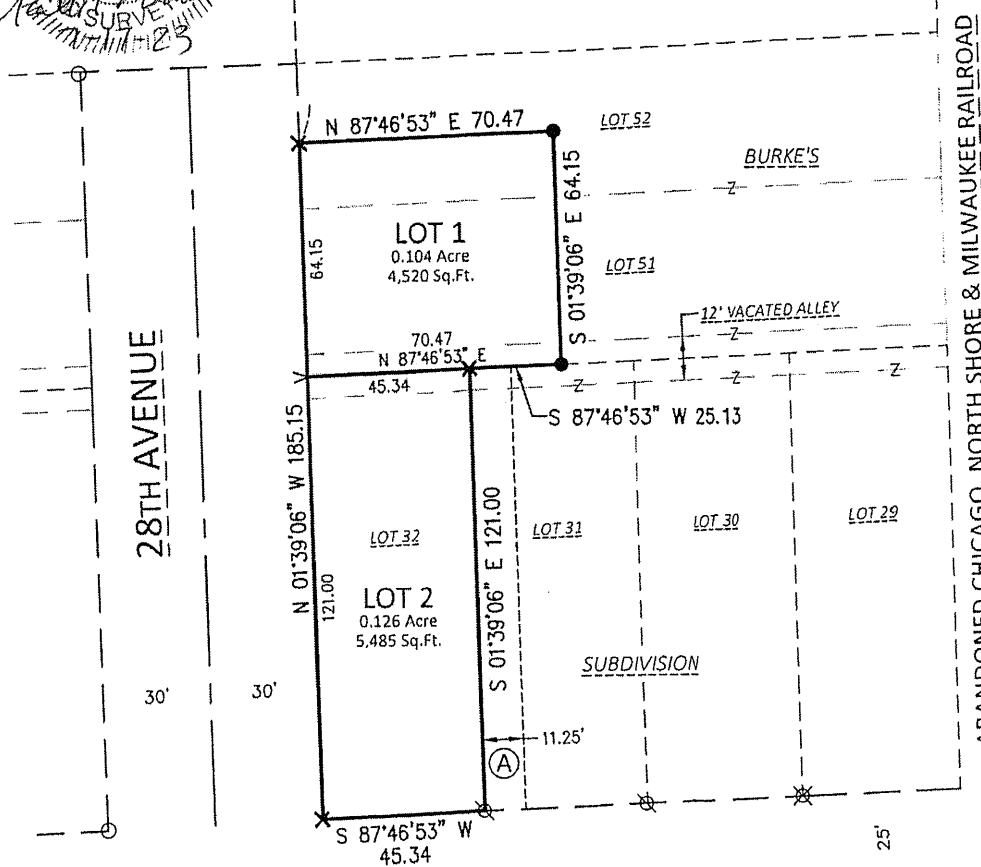
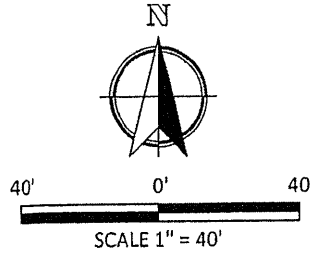
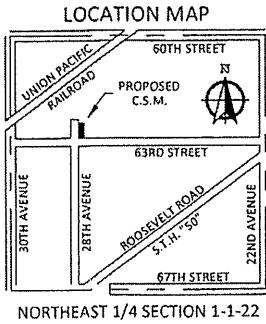
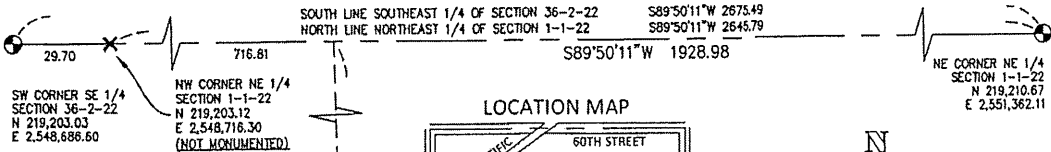


APPLICATION FOR CERTIFIED SURVEY MAP
Form #CD301 (rev. 11/20)

<i>SECTION 1 CERTIFIED SURVEY MAP</i>	
Additional Information Required:	Number of Lots: <u>2 New Lots</u> Zoning District: <u>Lot 1 - M-2 / Lot 2 - B-2</u> Proposed Zoning Change, if any: _____
Submittal Requirements:	<ul style="list-style-type: none"> ➤ Certified Survey Map in .pdf format provided to bwilke@kenosha.org ➤ Drainage Plan (when required) ➤ Signed Checklist below
Fees:	<ul style="list-style-type: none"> ➤ 2-Lot Certified Survey Map = \$750 ➤ 3-Lot Certified Survey Map = \$800 ➤ 4-Lot Certified Survey Map = \$850 ➤ With a Developer's Agreement = \$1,500 ➤ Re-submittals = \$400 Miscellaneous fees <ul style="list-style-type: none"> ➤ All special assessments and taxes shall be paid prior to recording. The Department of City Development will record the map with the Kenosha County Register of Deeds and recording fees shall be paid at that time by the applicant.
Park Fees:	<ul style="list-style-type: none"> ➤ Five percent (5%) of the value of the property, but not less than \$1,415 per lot. Note that park fees are only collected for residentially-zoned property and are due at the time of acquiring building permits. The City may require dedication of the land in lieu of fee.
Appendices to Review:	<ul style="list-style-type: none"> ➤ D, E, F and G
Approximate Review Time:	<ul style="list-style-type: none"> ➤ 45 - 60 days (Reviewed by City Plan Commission, Public Works Committee and Common Council)
<p>The land division will be reviewed for compliance with Chapters 17 and 35 of the City Code of General Ordinances, City Zoning Ordinance, any neighborhood or master land use plans for the area, and Chapter 236 of the Wisconsin State Statutes.</p> <p>The applicant shall be responsible for the costs of project engineering, design, construction, and inspection as follows (when applicable):</p> <ol style="list-style-type: none"> 1. The applicant is responsible for installing all improvements and infrastructure, including but not limited to, utilities (water, sanitary and storm sewer), oversizing of utilities, sidewalks, streets, street lights and signs, retention/detention basins, street trees, etc. 2. The applicant is responsible for any off-site improvements for the development, including but not limited to, traffic signals and signs, median openings, and street improvements/widening. 3. Payment of inspection and engineering services performed by the City and Kenosha Water Utility for the project. 4. Applicant responsible for posting of all required assurance to cover required improvements. 	
<p>Checklist to be completed and signed:</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Scale and north arrow <input checked="" type="checkbox"/> Scale of plans less than or equal to 1" = 100' <input checked="" type="checkbox"/> Date of original and revisions noted <input checked="" type="checkbox"/> Certification from surveyor that Plat complies with Chapter 17 <input checked="" type="checkbox"/> Location of all existing structures and first floor elevations <input checked="" type="checkbox"/> Location of utility and drainage easements <input checked="" type="checkbox"/> Exact length and bearing of the centerline of all streets <input checked="" type="checkbox"/> Exact street width along the line of any obliquely intersecting street <input checked="" type="checkbox"/> Railway rights-of-way within and abutting the plat <input checked="" type="checkbox"/> Location and size of all lands to be dedicated for public use (when required) <input checked="" type="checkbox"/> Comprehensive drainage plan <input checked="" type="checkbox"/> Special restrictions relating to access control, planting strips, restrictive yard requirements, etc. (when required) 	<ul style="list-style-type: none"> <input checked="" type="checkbox"/> Major street setback or WisDOT setbacks (if applicable) <input checked="" type="checkbox"/> Map shows entirety of all parcels in proposed certified survey map <input checked="" type="checkbox"/> Floodplain limits of the 100 year recurrence interval flood <input checked="" type="checkbox"/> Location of any wetlands, shoreland, or other environmental areas (if applicable) <p>Plans to be submitted (when applicable)</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Street plans and profiles <input checked="" type="checkbox"/> Sanitary sewer plans and profiles <input checked="" type="checkbox"/> Storm sewer plans <input checked="" type="checkbox"/> Grading/drainage plans <input checked="" type="checkbox"/> Water main plans and profiles <input checked="" type="checkbox"/> Erosion control plans <input checked="" type="checkbox"/> Landscape plans <p>I hereby certify that I have reviewed the City ordinances and provided all required information.</p> <p style="text-align: right;">Applicant's Signature: <u></u></p>

CERTIFIED SURVEY MAP NO. _____

LOT 32, PART OF LOTS 51 AND 52 AND A PORTION OF A VACATED ALLEY, BURKE'S SUBDIVISION, BEING PART OF THE NW 1/4 OF THE NE 1/4 OF SECTION 1, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE CITY OF KENOSHA, COUNTY OF KENOSHA, STATE OF WISCONSIN.



* SEE SHEET 2 FOR NOTES, LEGEND & IMPROVEMENT LOCATIONS *

63RD STREET

mb Nielsen Madsen + Barber
 CIVIL ENGINEERS AND LAND SURVEYORS
 1458 Horizon Blvd, Suite 200, Racine, WI 53406
 (262) 634-5588 | www.nmbc.net
 This Instrument was drafted by Mark R. Madsen on July 17, 2023

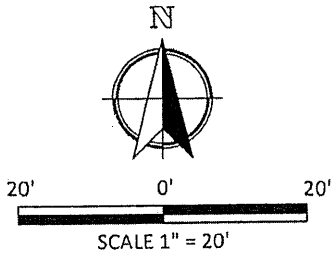
(A) EMERGENCY ACCESS EASEMENT AND MAINTENANCE AGREEMENT PER DOCUMENT NO. 1941941

SHEET 1 OF 4 SHEETS
 2023.0108.01 CSM.dwg

CERTIFIED SURVEY MAP NO. _____

LOT 32, PART OF LOTS 51 AND 52 AND A PORTION OF A VACATED ALLEY, BURKE'S SUBDIVISION, BEING PART OF THE NW 1/4 OF THE NE 1/4 OF SECTION 1, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE CITY OF KENOSHA, COUNTY OF KENOSHA, STATE OF WISCONSIN.

IMPROVEMENTS DETAIL



BEARINGS BASE: GRID NORTH, WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE NAD 1983/2011.
THE NORTH LINE OF THE NE 1/4 OF SECTION 1-1-22 IS ASSUMED TO BEAR S 89°50'11" W.

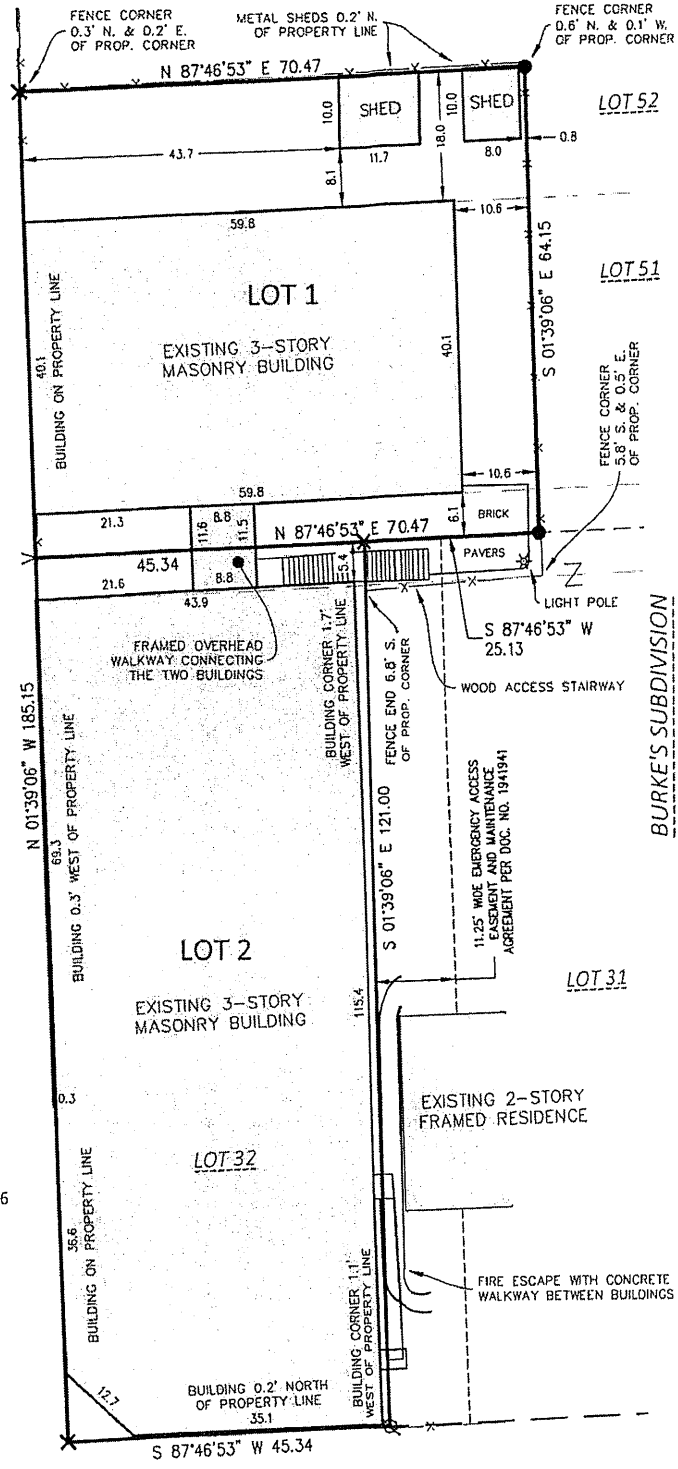
CURRENT ZONING INFORMATION:
LOT 1 - M-2, HEAVY MANUFACTURING
LOT 2 - B-2 COMMUNITY BUSINESS

OWNER/LAND SPLITTER:
JRC SPECIALTY LEASING, LLC
202 OAK LANE, WINTHROP HARBOR, IL 60096

- LEGEND:**
- 1-1/4" O.D. IRON PIPE FOUND
 - ⊗ 3/4" REBAR FOUND
 - ⊗ 3/4" O.D. IRON PIPE FOUND
 - ⊗ 2" O.D. IRON PIPE FOUND
 - 3/4" x 24" REBAR - 1.50 LBS/LIN FT. SET
 - × CUT "+" SET
 - ∨ CUT "V" SET
 - ⊗ CONC. MONUMENT W/BRASS CAP FOUND

28TH AVENUE

BURKE'S SUBDIVISION



63RD STREET

CERTIFIED SURVEY MAP NO. _____

LOT 32, PART OF LOTS 51 AND 52 AND A PORTION OF A VACATED ALLEY, BURKE'S SUBDIVISION, BEING PART OF THE NW 1/4 OF THE NE 1/4 OF SECTION 1, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE CITY OF KENOSHA, COUNTY OF KENOSHA, STATE OF WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Mark R. Madsen, Professional Land Surveyor, hereby certify:

THAT I have prepared this Certified Survey Map at the direction of JRC SPECIALTY LEASING, LLC;

THAT I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and the Land Division Control Ordinance of the City of Kenosha;

THAT such map is a true representation of all exterior boundaries of the land surveyed and the land division thereof made, described as:

Lot 32, part of Lots 51 and 52 and a portion of a vacated alley as per Resolution No. 22-69, Burke's Subdivision, a plat recorded in the office of the Register of Deeds for Kenosha County, Wisconsin on July 30, 1910 as Document No. 82005, being part of the Northwest 1/4 of the Northeast 1/4 of Section 1, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the City of Kenosha, County of Kenosha, State of Wisconsin, more particularly bounded and described as follows: Commencing at the Northeast corner of the Northeast 1/4 of said Section 1, run thence S89°50'11"W, 1928.98 feet along the North line of the Northeast 1/4 of said Section 1; thence S01°39'06"E, 954.48 feet to a point on the East line of 28th Avenue located 185.15 feet North, as measured along said line, from the Southwest corner of said Lot 32 being the point of beginning; thence N87°46'53"E, 70.47 feet parallel with the North line of 63rd Street; thence S01°39'06"E, 64.15 feet parallel to the East line of 28th Avenue to the centerline of said vacated alley; thence S87°46'53"W, 25.13 feet along the centerline of said vacated alley to the Northerly extension of the East line of said Lot 32; thence S01°39'06"E, 121.00 feet along the East line and its Northerly extension of said Lot 32 to the North line of 63rd Street; thence S87°46'53"W, 45.34 feet along the North line of 63rd Street to the East line of 28th Avenue, also being the Southwest corner of said Lot 32; thence N01°39'06"W, 185.15 feet along the East line of 28th Avenue to the point of beginning.

Containing 10,005 square feet or 0.230 acre.

July 17, 2023

Mark R. Madsen
Mark R. Madsen
Nielsen Madsen & Barber, S.C.
1458 Horizon Blvd, Suite 200
Racine WI 53406
(262) 634-5588



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
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This Instrument was drafted by Mark R. Madsen on July 17, 2023

CERTIFIED SURVEY MAP NO. _____

LOT 32, PART OF LOTS 51 AND 52 AND A PORTION OF A VACATED ALLEY, BURKE'S SUBDIVISION, BEING PART OF THE NW 1/4 OF THE NE 1/4 OF SECTION 1, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE CITY OF KENOSHA, COUNTY OF KENOSHA, STATE OF WISCONSIN.

OWNER'S CERTIFICATE

JRC SPECIALTY LEASING, LLC, as Owner, does hereby certify that it has caused the land described on this map to be surveyed, divided, and mapped as represented on this Certified Survey Map. They do further certify that this Certified Survey Map is required to be submitted to the following for approval: The City of Kenosha.

IN WITNESS WHEREOF the said JRC SPECIALTY LEASING, LLC, an Illinois limited liability company, has caused these presents to be signed by Jack R. Chulengarian on this _____ day of _____, 2023.

Jack R. Chulengarian
Manager

STATE OF _____ }
COUNTY OF _____ } S.S.

Personally came before me this _____ day of _____, 2023, Jack R. Chulengarian, of JRC SPECIALTY LEASING, LLC, to me known to be the person who executed the foregoing instrument, and to me known to be such Manager of said Company, and acknowledged that he executed the foregoing instrument as such officer as the deed of said Company, by its authority.

Signature

Notary Public, _____, _____

My Commission Expiration

CITY OF KENOSHA CERTIFICATE

Resolved that this Certified Survey Map has been submitted to and approved by the Common Council of the City of Kenosha on this _____ day of _____, 2023.

John Antaramian, Mayor

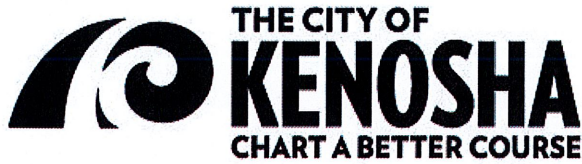
Michelle Nelson, Clerk/Treasurer



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1459 Hegevo Blvd, Suite 200, Racine, WI 53406
(262) 363-5185 | www.nmbc.net

This Instrument was drafted by Mark R. Madsen on July 17, 2023

SHEET 4 OF 4 SHEETS
2023.0108.01 CSM.dwg



CITY PLAN COMMISSION
Staff Report – Item #6

Thursday, April 18, 2024 at 5:00 pm
Municipal Building
625 52nd Street – Room 202 – Kenosha, WI 53140

Request to initiate the rezoning of various properties located in the City of Kenosha in accordance with the Federal Emergency Management Agency Flood Insurance Rate Maps with an effective date of April 11, 2024 (FEMA) (District 1) (District 2) (District 3) PUBLIC HEARING

NOTIFICATIONS AND APPROVAL REQUIREMENTS:

Aldersperson Haugaard, District 1, Aldersperson Siel, District 2, and Aldersperson Michalski, District 3 are the Aldermen where the properties are to be rezoned. Property owners will be notified of the Public Hearing.

LOCATION AND ANALYSIS:


Site: Properties located along the Lake Michigan Coast

1. Per Section 10.02 A. of the Zoning Ordinance, the City Plan Commission can initiate the rezoning of property.
2. FEMA has created Flood Insurance Rate Maps (FIRM) and regulations for all coastal and Great Lakes communities. The new FIRM for Kenosha are effective April 11, 2024.
3. On February 21, 2024, Common Council created Section 19 Floodplain Regulation for the City of Kenosha Zoning Ordinance in conformance with FEMA regulations and the Wisconsin Department of Natural Resources. These new regulations included adopting requirements for coastal flood zones.
4. Properties that are impacted by the new FIRM will be zoned into the appropriate floodplain designation of Coastal Floodplain District (CFP), Floodway (FW) or General Floodplain District (GFP). This is based on the zone designation on the FIRM
5. Staff is asking the City Plan Commission to initiate the rezoning of these properties. A rezoning of the Parcel to CFP Coastal Floodplain, FW Floodway, and GFP General Floodplain would be in compliance with Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps.
6. The rezoning of these parcels will require an amendment to the *Comprehensive Land Use Plan for the City of Kenosha: 2035*.

RECOMMENDATION:

A recommendation is made for the City Plan Commission to initiate the rezoning and schedule a public hearing.


Rachel Gasper, Planner






Rich Schroeder, Deputy Director

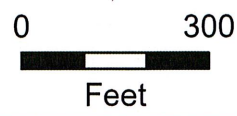
District Map Rezoning

Supplement No. Z5-24
Ordinance No. _____

City Plan Commission (FEMA/Lakefront) petition



-  CFP Coastal Floodplain zoning district to be assigned
-  FW Floodway to be assigned
-  GFP General Floodplain district to be assigned
-  Properties affected by floodplain







City of Kenosha

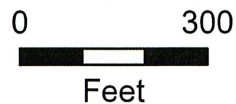
District Map Rezoning

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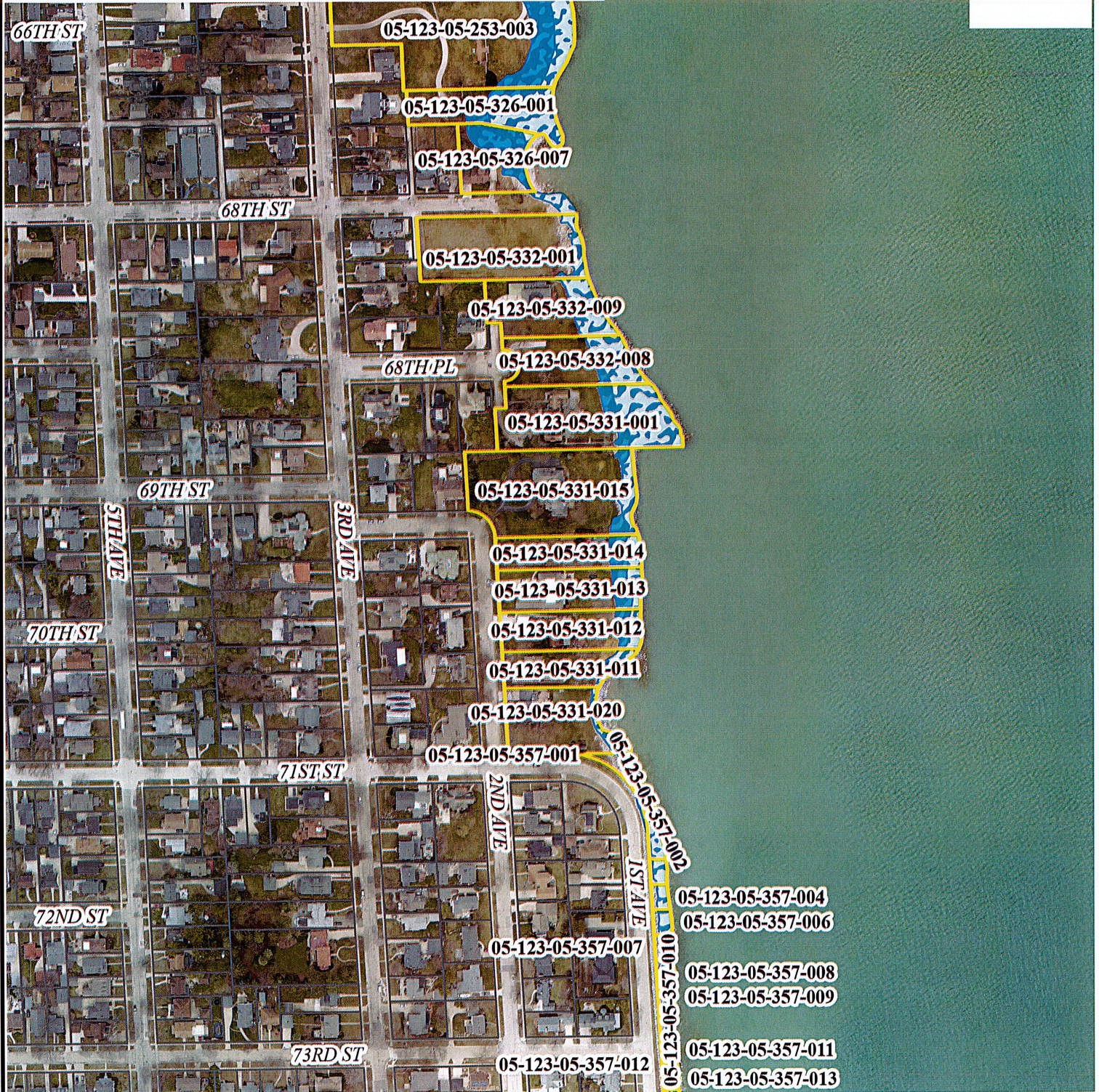
City of Kenosha





Map 3

District Map Rezoning

Supplement No. Z5-24
Ordinance No. _____

City Plan Commission (FEMA/Lakefront) petition



-  CFP Coastal Floodplain zoning district to be assigned
-  FW Floodway to be assigned
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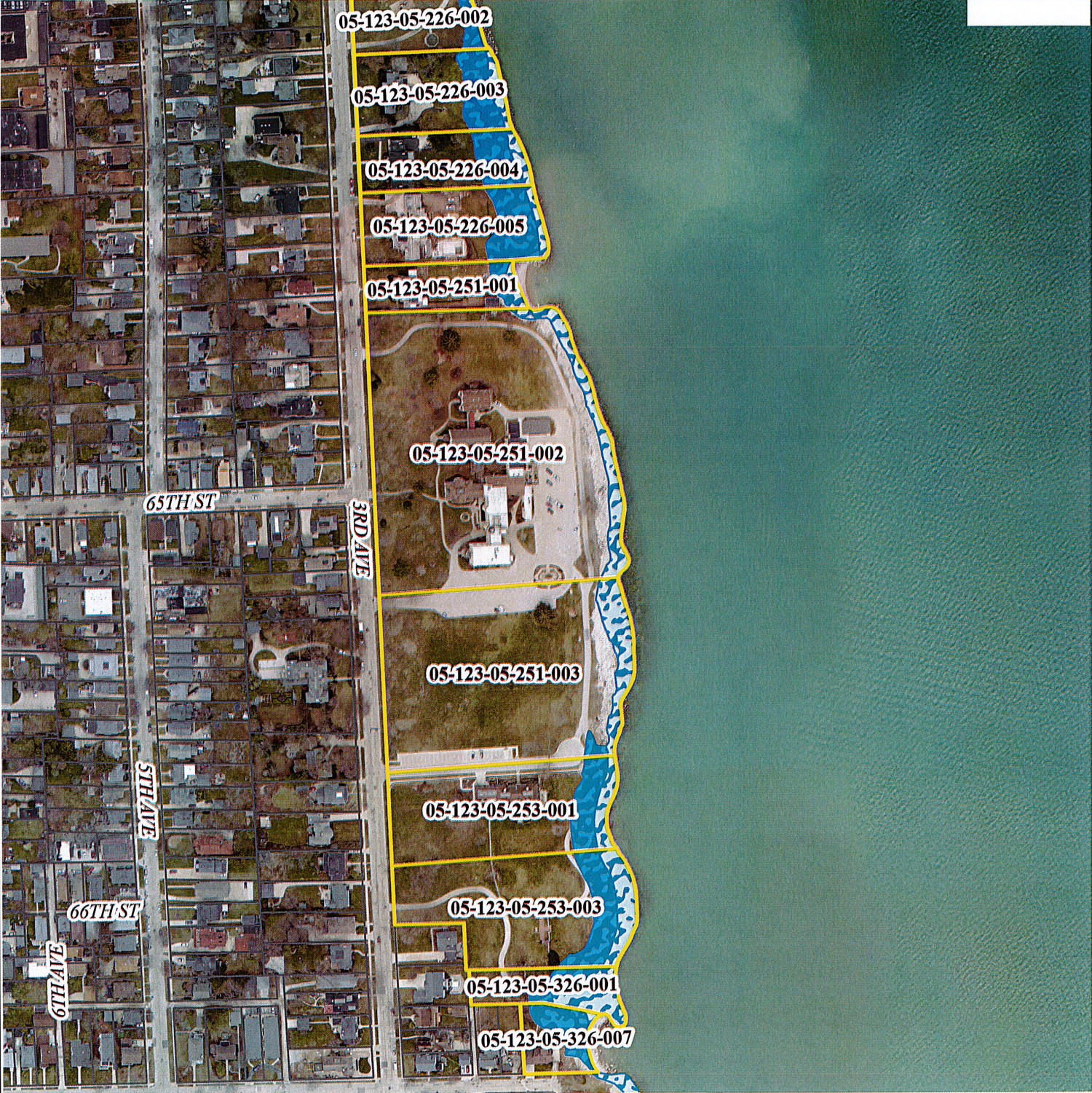


District Map Rezoning

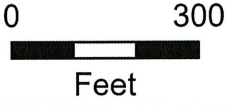
Supplement No. Z5-24

City Plan Commission (FEMA/Lakefront) petition

Ordinance No. _____



- CFP Coastal Floodplain zoning district to be assigned
- FW Floodway to be assigned
- GFP General Floodplain district to be assigned
- Properties affected by floodplain



City of Kenosha





Map 5

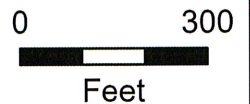
District Map Rezoning

Supplement No. Z5-24
Ordinance No. _____

City Plan Commission (FEMA/Lakefront) petition



-  CFP Coastal Floodplain zoning district to be assigned
-  FW Floodway to be assigned
-  GFP General Floodplain district to be assigned
-  Properties affected by floodplain







District Map Rezoning

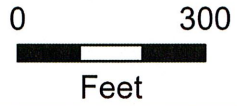
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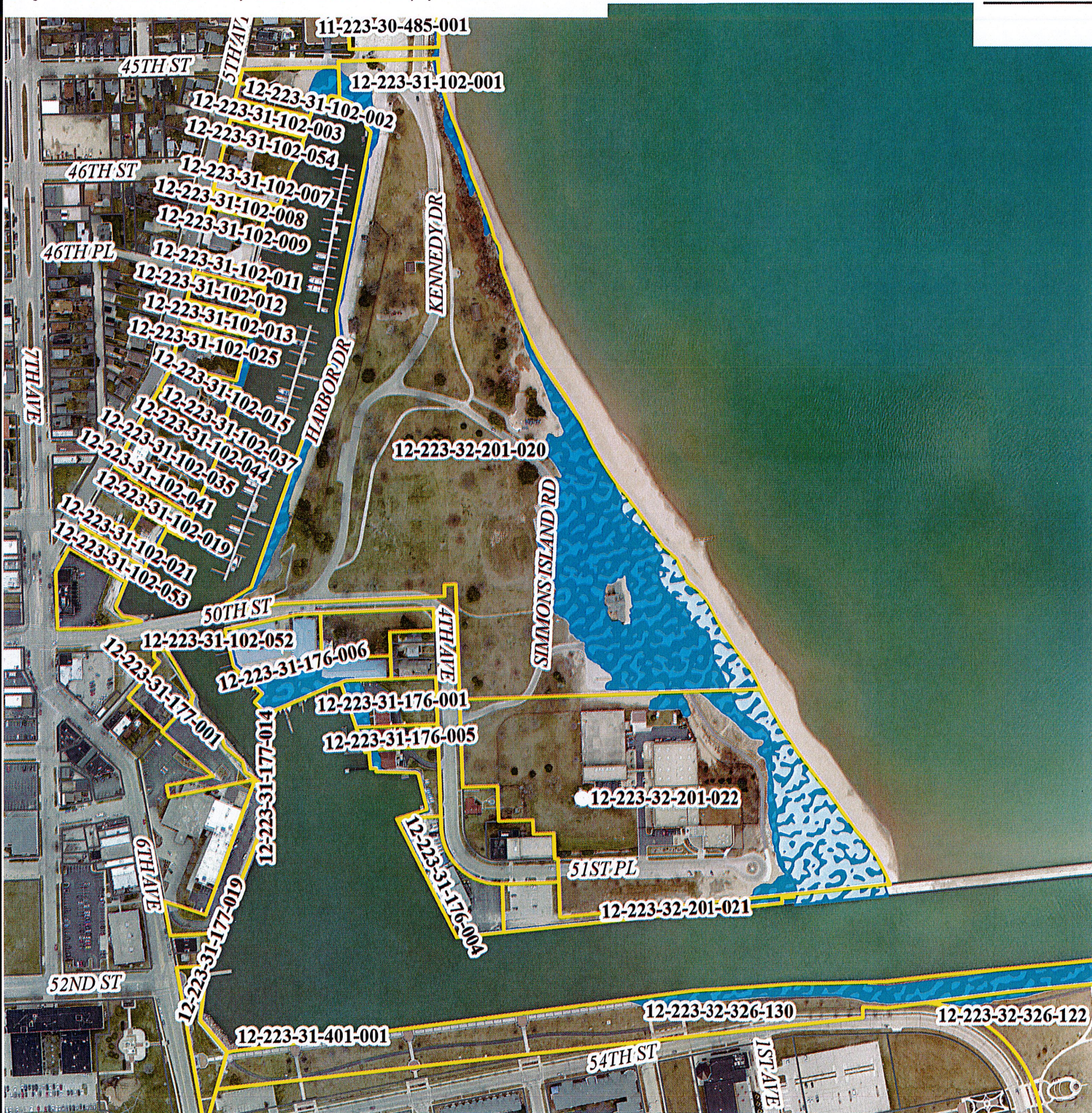
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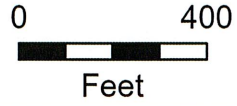
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



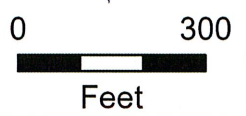
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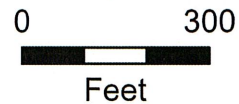
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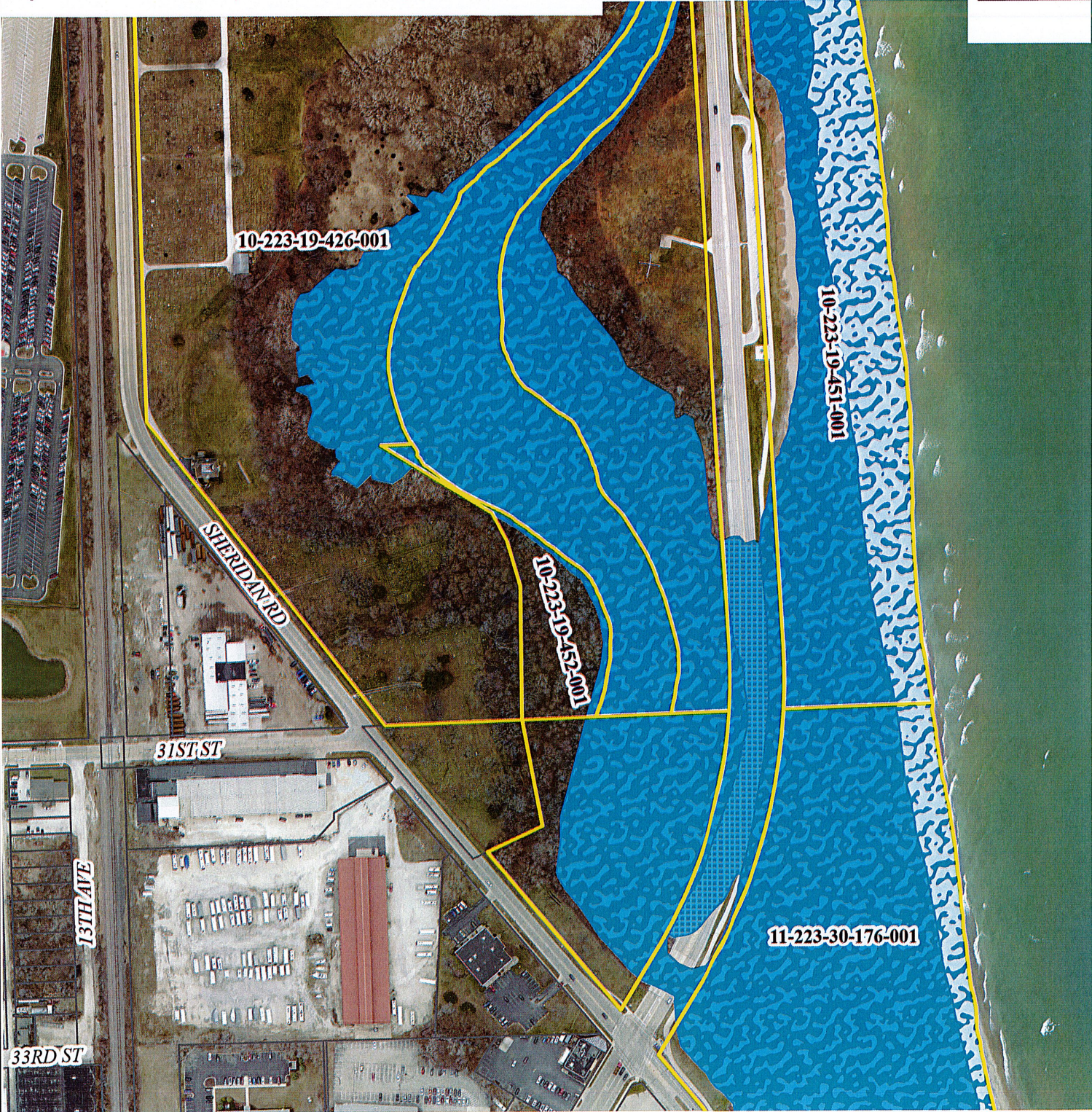






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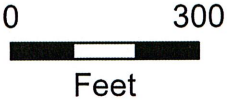
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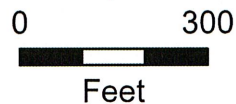
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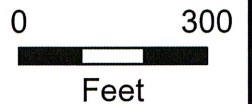
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